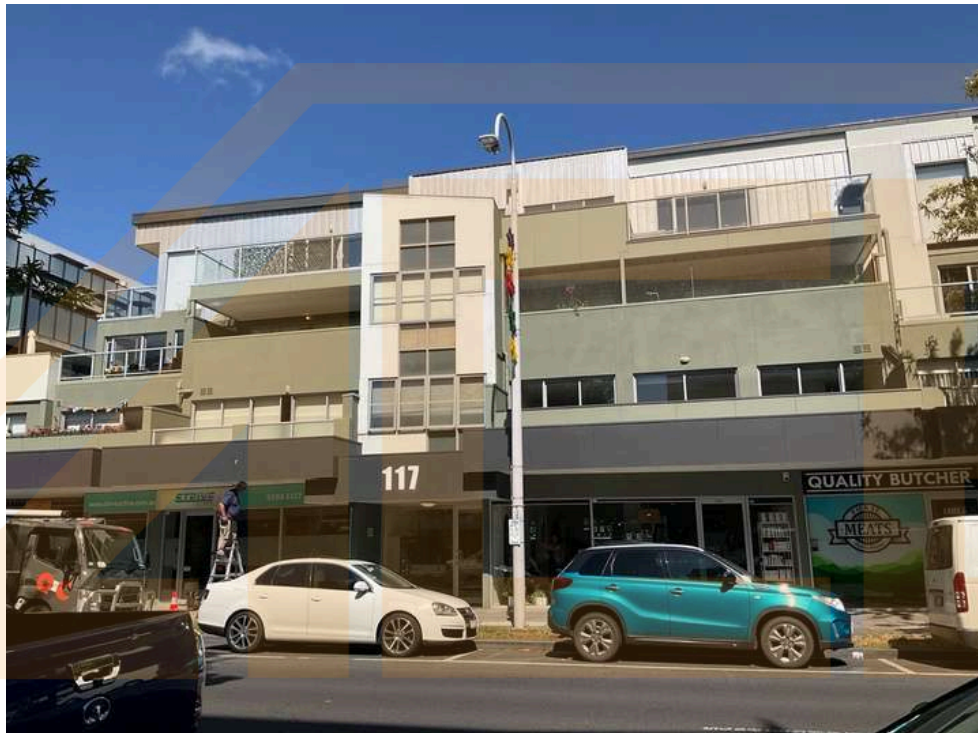




Building & Termite / Pest Report

Inspection Date: 3 Feb 2025

Property Address: Sample Street Altona 1234



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Inspection Details

Property Address: Sample Street Altona 1234

Date: 3 Feb 2025

Client

Name: Mr Jones

Email Address: sample@hello.com

Phone Number: 0123 123123

Consultant

Name: Zubair Akhtar

Email Address: Acebuildingandpest@gmail.com

Company Name: Ace Building and Pest Inspection

Company Address: Ringwood Victoria 3134

Company Phone Number: 0413 163 187

General description of property

Building Type:	Unit/flat
Storeys:	Single storey
Smoke detectors:	2 fitted, but not tested IMPORTANT NOTE - The adequacy and testing of smoke detectors is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Siting of the building:	Not applicable
Gradient:	The land is flat
Site drainage:	There are areas of minor concern as detailed in the report
Access:	Typical Access
Occupancy status:	Unoccupied
Furnished:	Fully furnished

Strata or company title properties:	Strata flat in mid rise block
Orientation of the property:	The front facade of the building faces east Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	Dry

Primary method of construction

Main building – floor construction:	Suspended concrete flooring.
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Main building – wall construction:

System build with cladding

Main building – roof construction:

Flat above - no access to main roof

Overall standard of construction:

Overall typical construction, however repairs required.

Overall quality of workmanship and materials:Average

Level of maintenance:

Reasonably maintained.

Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

There are no special conditions or instructions

Parking

TYPE	OFF STREET PARKING SPACES (UNCOVERED)	GARAGE (COVERED)	CARPORT (COVERED)
Attached	0	0	0
Detached	1	0	0
Totals	1	0	0

Inspection Agreement

AS 4349.1-2007 and 4349.3-2010 require that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection

Inspection agreement supplied: Sent

Terminology

The definitions below apply to the types of defects associated with individual items / parts or inspection areas -

Damage	The building material or item has deteriorated or is not fit for its designed purpose
Distortion, warping, twisting	The item has moved out of shape or moved from its position
Water penetration, Dampness	Moisture has gained access to unplanned and / or unacceptable areas
Material Deterioration	The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay
Operational	The item or part does not function as expected
Installation	The installation of an item is unacceptable, has failed or is absent

Scope of inspection

BUILDING INSPECTION This is a visual Building Inspection Report carried out in accordance with AS4349.1 -2007. The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection. The report covers only safety hazards, major defects, and a general impression regarding the extent of minor defects. The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability. **TIMBER PEST INSPECTION** This Visual Timber Pest Inspection & Report is in accordance with Australian Standard 4349.3 -Inspection of Buildings Part 3: Timber Pest Inspections. This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Accessibility

Unless noted in “Special Conditions or Instructions”, the inspection only covered the Readily Accessible Areas of the Building and Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

“Readily Accessible Areas” means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term ‘readily accessible’ also includes:

(a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and

(b) areas at the eaves of accessible roof spaces that are within the consultant’s unobstructed line of sight and within arm’s length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

“Building and Site” means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term “Building and Site” is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder’s debris, vegetation, pavements or earth.

Areas Inspected

The inspection covered the Readily Accessible Areas of the property

- Internal
- Direct external areas of the flat

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects. Areas, which are not normally accessible, were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

Obstructions and Limitations

The following obstructions may conceal defects:

- Furniture
- Carpets
- Freshly painted
- Wall cladding
- Ceiling plasterboard

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Inaccessible Areas

The following areas were inaccessible:

- Strata not inspected common areas and only direct external areas of the flat which were accessible

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of Serious Safety

Found

Hazard

Found

Evidence of Major Defect

Found

Evidence of Minor Defect

Additional specialist inspections

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Not Applicable

Undetected defect risk assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected structural damage and conditions conducive to structural damage was considered:

High

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

Significant Items

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out.

Serious Safety Hazard

Serious Safety Hazard 1.01

Location:

Windows - Internal Areas Window Openings - Unsafe There are windows that do not have restricted openings to areas considered high risk.

Finding:

Restrictions to window openings is highly recommended to upstairs areas, including downstairs areas or single level building areas where the exterior of the window is 2 m (2000 mm) to the ground.

In accordance with Australian Standard (AS-4349.1) Pre-Purchase Inspections are not required to include building codes and standards, however when safety is a concern, all matters of a building should be considered.

The building code and standard regulations in relation to window openings state the maximum allowance for any window opening is restricted to 125 mm or the technical term is to not allow a 125 mm sphere pass through the window to upstairs areas, including downstairs or single level building areas where the exterior of the window is 2 m (2000 mm) to the ground.

Unrestricted window openings to high risk areas has the high potential to place children and/or pets at high risk and this is why building codes and standards are in place for new construction builds and for builds over many of the past years.

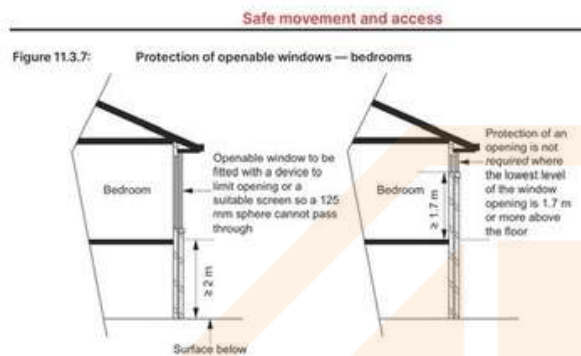
RECOMMENDATION

I highly recommend for the safety of children and pets you engage a window technician to install window limiting devices to the high risk windows in order to restrict the openings to 125 mm as per the current building codes and standards.

Generally window mechanisms will need to be replaced with winding type windows and limiting devices installed to sliding type windows.

Again this work is best carried out by a window specialist and/or a window manufacturer service team.

I have added the building code and standard diagrams for your information.



Serious Safety Hazard 1.02

Location:

Windows - Internal Areas

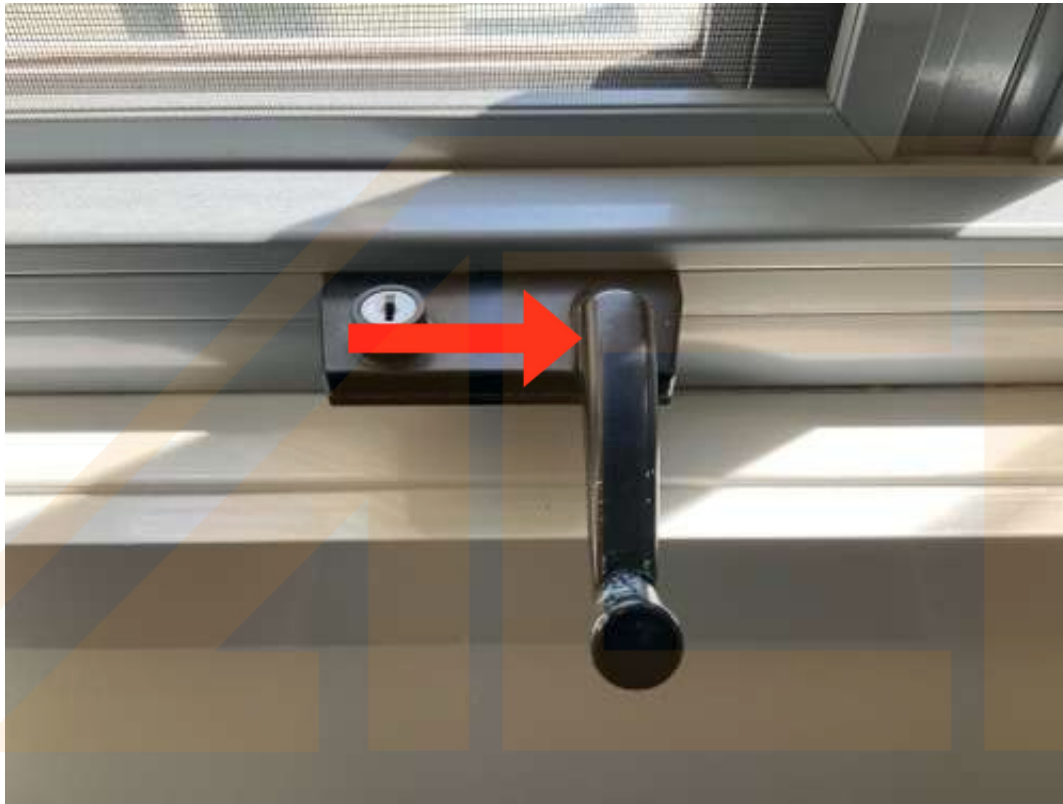
Finding:

Window Accessories Missing/Broken

During the inspection of the property, it was observed that the windows in the bedroom two are not functioning entirely as intended. Various components such as handles, locks, were found to be broken or damaged which significantly affects the functionality of the windows. This poses a safety risk as windows that do not function or lock properly can compromise the security of the property.

To address this issue, it is recommended that the broken or damaged components be replaced as soon as possible. It is advisable to engage the services of a general handy person, carpenter, window manufacturer, or service technician who can effectively perform the necessary repairs or replacements. This will not only improve the operational state of the affected windows but also enhance the safety of the internal area.

In order to ensure a comprehensive assessment, it is recommended that all windows in the property be tested for their performance. This will help identify any additional defects or concerns that may need attention. Taking these remedial actions will contribute to the overall improvement of the windows' functionality and ensure a safer environment within the property.



Serious Safety Hazard 1.03

Location:

Site Reference

Finding:

Safety Switch FAILED TO TURN BACK ON

After we performed safety switch testing with our instrumentation, the safety switch FAILED TO TURN BACK ON .

Safety Switch test to trip the safety switch at less then 30 milli amps was performed and the initial tests to the safety switch DID trip at 30 milli amps, however after testing the safety switch I tried numerous times to reset the safety switch and it would not turn back on. Once this happens it is highly recommended that the safety switch be replaced as a matter of urgency by a qualified electrician as it is not operating as it was intended to by the manufacturer.

Safety switches are designed to identify any faults in the electrical wiring and/or appliances.

A faulty safety switch, can place a person in a very dangerous situation in the event of a faulty appliance or faulty wiring and may cause electrocution or fire.

As a matter of urgency, we highly recommend that you engage in a qualified electrician to provide further electrical investigations in order to determine if the safety switch/switches require replacement and/or if there is any faulty wiring.

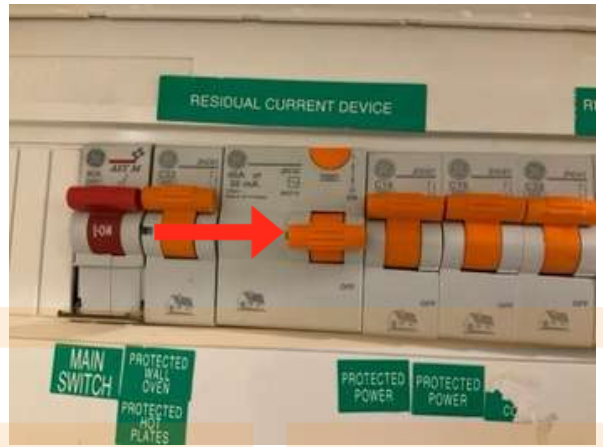
Upon installation of a safety switch, this will determine further electrical wiring and testing required by the electrician.

A Certificate of Electrical Safety is required for all electrical works.

Explanatory information :

In addition, each State and Territory has legislation in place with different requirements that make it mandatory under certain circumstances to have a safety switch installed. These are triggered by the age of the building, its intended use (e.g. as a rental) and sometimes by the sale of the property itself. You should refer to the State-based regulator for electrical safety in your State to determine the requirements and obligations for the upgrade to the electrical

switchboard.



Serious Safety Hazard 1.04

Location: Balcony

Finding: Airconditioning Unit Location (Safety Hazard)

I wanted to bring to your attention a concern I have regarding the placement of the air conditioning unit in relation to the barrier/balustrade on the balcony. From my professional opinion as an inspector, it is evident that the current positioning of the unit poses a potential safety hazard. The air conditioning unit serves as a stepping point towards the top of the balcony barrier/balustrade, which could be dangerous for children or pets.

I strongly recommend further investigation into this matter and prompt remedial action. This could involve relocating the air conditioning unit to a safer area, away from the barrier/balustrade, or installing additional protective measures such as a barrier or guard to prevent unauthorized access.

Our top priority should be ensuring the safety of occupants, especially children or pets.

It is crucial that any protective covering over the air conditioning unit does not create an additional step, so the height of the covering the unit should exceed that of the barrier.

In summary, it is important to address this issue promptly to ensure the safety of the balcony area.



Major Defect

Major Defect 2.01

Location:

Site Reference

Finding:

Plaster Ceiling - Water Damage / Water Staining

This defect statement is known as a major defect and a major structural defect as per the Australian Standards for prepurchase building inspections (AS 4349.1-2007)

This defect is also considered a safety hazard.

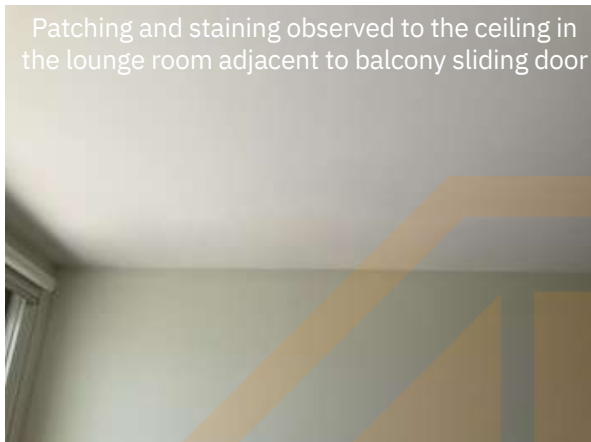
The ceilings underneath the balcony were found to be stained and patched up, indicating damage caused by water ingress through the tiles on the balcony above, among other possible sources. It is unclear how severe the timber damage is between the ceiling and the balcony area, but it is evident that water has been penetrating the balcony for a period of time. The damages may be more severe than they appear, and a visual inspection may not provide an accurate perception

A comprehensive assessment of the damages will require invasive works, such as dismantling the under area of the balcony and/or removing the tiled area associated with the waterproofing and substrate. This is necessary to determine the structural integrity of the timbers and other building materials, as hidden damages may not be visible during a visual inspection.

All tiles on the balcony and the substrate will need to be removed and redone, including the waterproofing, to properly evaluate the extent of the damage. It is essential that all workmanship is performed by qualified individuals to ensure the warranty for the work. (If this has been complete then proof of work should be obtained along with warranty)

It is important to note that property owners often underestimate the damage caused by rotted timbers, as they may unknowingly conceal the severity of the damages by painting and filling damaged areas.

Patching and staining observed to the ceiling in the lounge room adjacent to balcony sliding door



No elevated moisture readings at the time of the inspection



Staining observed in the lounge room





Minor Defect

Minor Defect 3.01

Location:

Bathroom

Finding:

Toilet roll holder - Loose

The toilet roll holder was found to be loose at the time of inspection. While not a major operational defect, function can deteriorate if the problem is left unmanaged.

It is advised that the homeowner performs remedial works to re-attach the toilet roll holder to its original fixing.

A general handyperson may be required to perform these works.



Minor Defect 3.02

Location:

Bathroom

Finding:

Towel Rail - Loose

The Towel Rail was found to be loose at the time of inspection. While not a major operational defect, function can deteriorate and cause further damage to the plaster/tiles if the problem is left unmanaged.

It is advised that the homeowner performs remedial works to re-attach the towel rail to its original fixing.

A general handyperson may be required to perform these works.



BUILDING AND PEST INSPECTION

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BUILDING AND PEST INSPECTION

Minor Defect 3.03

Location:**Finding:**

Sealant & Tile Grout Damages Tile Grout & Sealant Damages. The sealant & tile grout is damaged and worn in area's, which poses a potential risk of water ingress and potential building damages. It is crucial that repairs are performed promptly.

You certainly do not want to wait for water damages to show and identify secondary building damages as by this time, the costly repairs are significant.

To address this, it is necessary to take out the old sealant & tile grout in its entirety and replace sealant & tile grout that can accommodate expected expansion and contraction while maintaining a watertight seal to protect all associated building materials. This will ensure the joints remain watertight and protective of all associated building materials.

It is highly recommended to engage a professional sealant & tile grout specialist that utilizes silicon/sealant like a Polyurethane seal to the tile junctions, corners, and edges and tile grout which can further enhance the repair's durability.

It is imperative that the necessary repairs and maintenance are carried out as soon as possible to prevent any potential building damages and to ensure the long-term durability and safety of the property.

It is recommended to engage a sealant specialist tiling contractor and/or registered builder to assess the damage caused by water in the affected areas, if any and can clean the area, remove old sealant and tile mortar, and then re-seal and re-mortar the affected areas promptly.

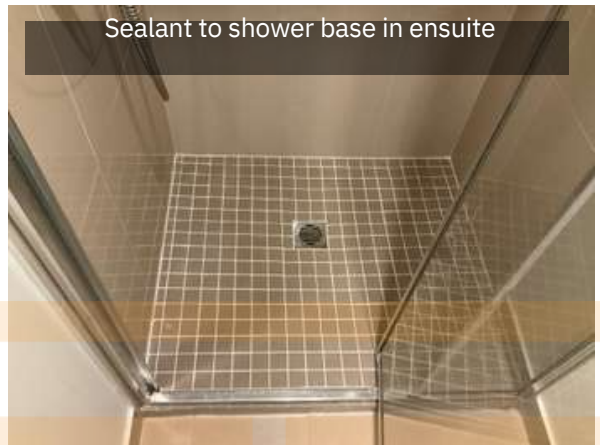
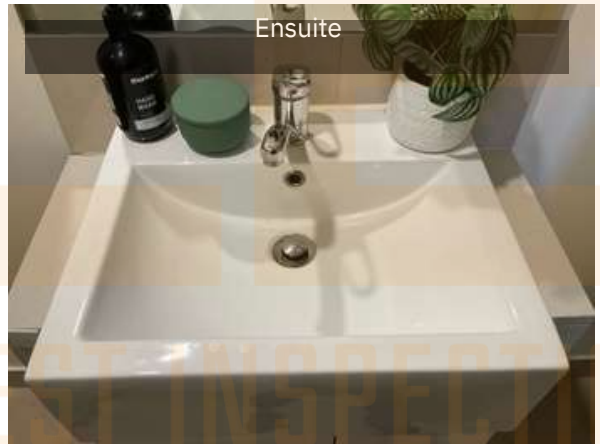
If there are loose or cracked tiles, which may also involve damaged waterproofing, these should be repaired first.

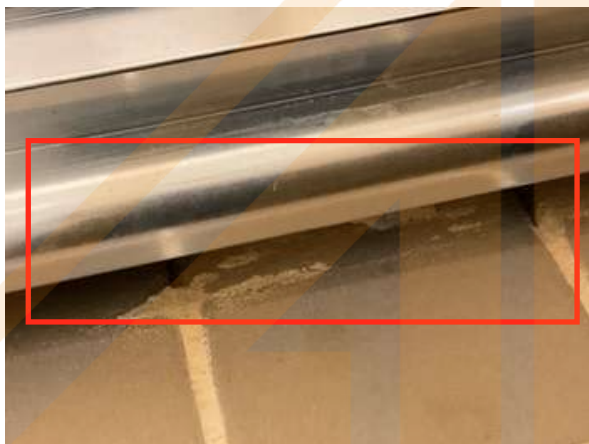
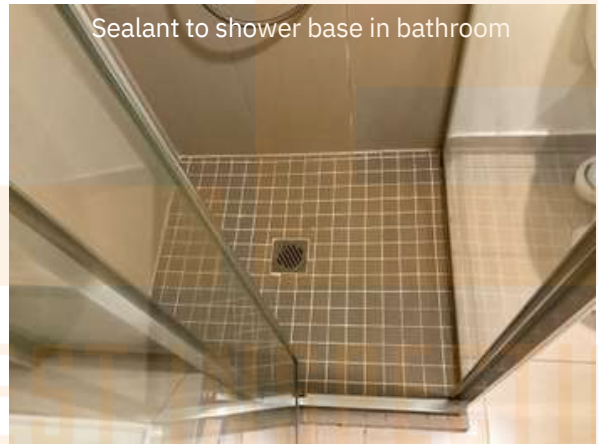
A HIGHLY RECOMMENDED OPTION :-

Alternatively, instead of hiring a typical tiler, another option is to engage a specialist trade that utilizes products like Kerapoxy flexible 2 part resin grout to replace the tile grout. This type of grout is nonporous, providing greater durability and a longer lifespan compared to standard tile grout. Applying silicone / sealant with a Polyurethane seal to the tile junctions, corners, and edges can further enhance the repair's durability. Many companies, such as the "Grout Guy," offer this service, ensuring cost-effectiveness, water damage prevention, and time savings. However, it is essential to ensure that the underlying building materials behind the tiles are structurally sound.

In conclusion, addressing the compromised silicone / sealant and tile grout in the wet areas is crucial to prevent water ingress and potential building damages. Engaging a sealant specialist or utilizing a specialist trade with products like Kerapoxy flexible 2 part resin grout can provide effective and long-lasting repairs.

It is vital to address any loose or cracked tiles, damaged waterproofing or any other building damages before proceeding with the repairs.





Minor Defect 3.04

Location:

External Areas Cracks to external cladding area's. During the inspection of the perimeter of the

Finding:

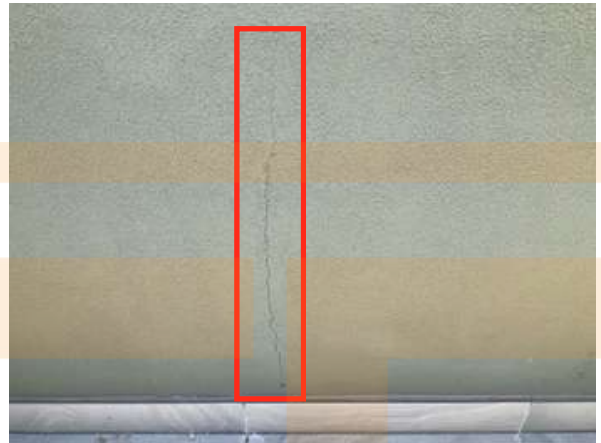
building's exterior, it was observed that there are visible cracks in the applied finish covering the lightweight substrate construction material. These cracks, if left unattended, have the potential to allow water ingress, posing a risk to the structural integrity of the property.

Typically, cracks in external finishes applied to lightweight sheet substrates are challenging to eliminate due to the solid nature of the sheeting material. The rigidity of the lightweight sheeting makes it difficult to repair, as it lacks flexibility. Consequently, typical repairs and filling methods are not sufficient, as they often result in the recurrence of cracks within a short to medium time frame.

Given the complexity of addressing these cracks, it is strongly recommended that a professional in this area be engaged to prepare and repair them. Their expertise and specialized knowledge will ensure that the cracks are adequately addressed, minimizing the risk of further damage and potential water ingress.

To remediate the cracks, the professional may need to employ specialized techniques and materials that are specifically designed for repairing cracks in lightweight sheet substrates. These techniques could involve the use of reinforcing materials or flexible fillers to accommodate the lack of flexibility in the sheeting material. By utilizing these appropriate remedial actions, the cracks can be effectively repaired, preventing any further deterioration and ensuring the long-term stability of the property.

It is essential to address these cracks promptly to maintain the structural integrity of the building and prevent any potential water damage. Therefore, it is strongly advised that the necessary repairs be carried out by a qualified professional, such as a Renderer, or similar expert as part of the property's maintenance and upkeep.





Minor Defect 3.05

Location:

Site Reference

Finding:

Plaster & Timber Cracking - Damage Category 2 - Noticeable (up to 5mm)

Whilst we may have a photo of damaged paint, or a minor plaster cracking, etc, there may be many more paint/plaster defects and plaster cracking in other areas throughout the property.

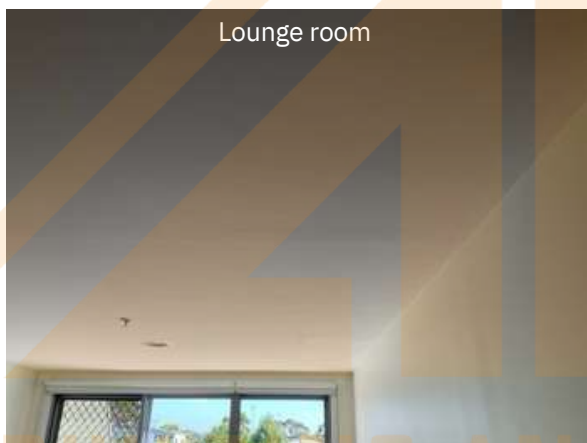
Noticeable cracks are a common occurrence as a result of many primary defects. Such causes may include age, general wear and tear, expected building movement, general expansion/contraction of building materials in different weather conditions, and/or minor failings in the installation or application of building materials.

Noticeable cracks may result in minor sticking or jamming of associated doors and windows, which require easement. However, noticeable cracks are easily filled and repaired. A plasterer can be consulted to install an expansion joint at this point to allow for this movement during different weather conditions.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous. Additionally, your building inspector should also be contacted if associated building elements such as doors and windows become more difficult to operate over time.

Relevant tradespeople, such as carpenters, painters and plasterers, should be appointed to perform remedial works, as deemed necessary.

ALL AREAS should be checked carefully for this defect and attached are a few PHOTO EXAMPLES as a GUIDE.



Minor Defect 3.06

Location:

Tiled Areas

Finding:

Tiles - Drummy (Loose or Compromised)

The term "drummy" refers to tiles that have become detached from their fixing or have hollow areas underneath the tile indicating a lack of consistent cement or glue beneath the entire tile and/or water/moisture under the tile.

Normally water penetrating under a tile is due to water penetration between the inappropriate tile grout and the inappropriate sealant to the tile junctions.

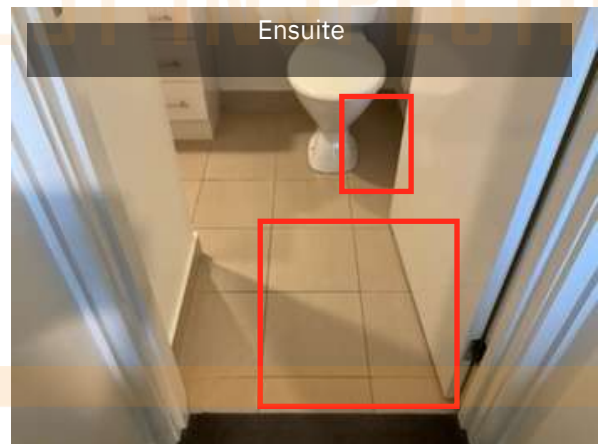
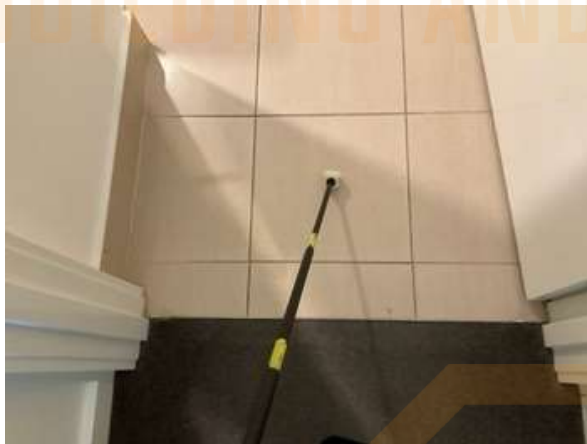
Drummy tiled areas can be a result of poor workmanship, damaged tile grout or sealant, cracked tiles allowing water/moisture to penetrate and/or building movement.

It is important to note that any exposure to moisture/water can cause tiles to become drummy and cracked over time, especially in shower areas where the problem is more pronounced.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive or if secondary building defects have resulted.

Otherwise, it is advised that a tiling contractor be appointed to perform works as necessary, related to new tile grout and sealant to the junctions, Including any cracked tiles if applicable.

ALL AREAS should be checked carefully for this defect and attached are a few PHOTO EXAMPLES as a GUIDE.



Additional comments

- * NVQ Level 4 - Residential Building Inspector
- * CPPUPM3008 - Termite/timber pest inspection
- * CPPUPM3010 - Termite / control of timber pests
- * 0005749931 01 - OHS - prepare to work safely in the

construction industry

For your information

For your information 4.01

Location:

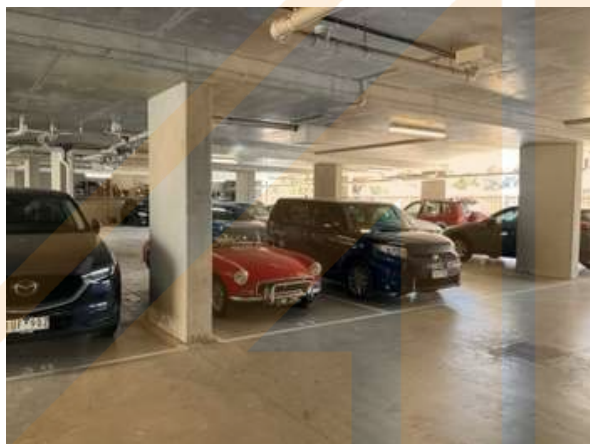
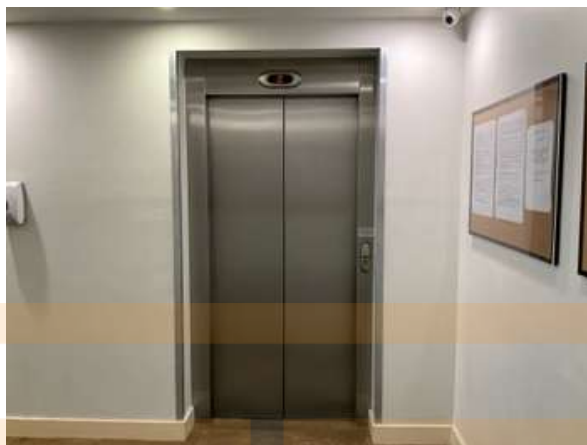
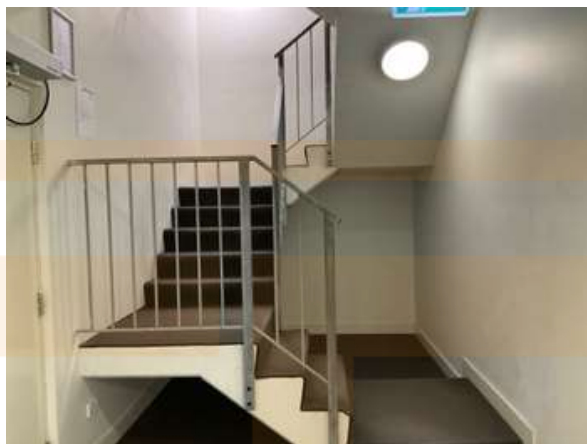
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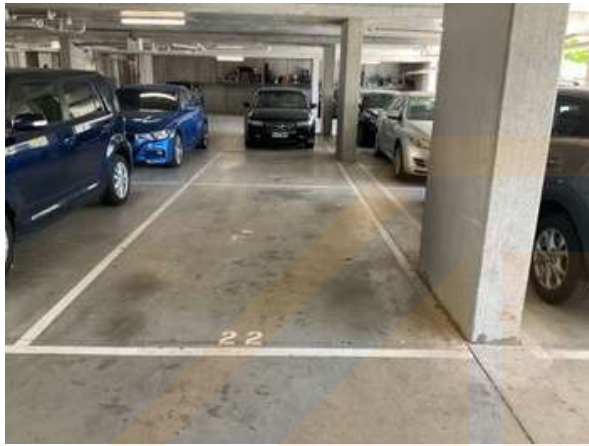
Finding:

General Site & Communal Photos

Reference Photo's.







For your information 4.02

Location:

Site Reference

Finding:

Gas & Electrical Appliances - Inspection & Servicing

We highly recommend that the gas and electrical appliances be regularly serviced and maintained in good order.

While we do note and comment on visually apparent defects, it is important to comply with legislation that requires licensed plumbers to check and document compliance for plumbing requirements to ensure proper functioning.

To ensure safety, we strongly suggest that a registered plumber inspects all gas appliances and the gas installation for any defective workmanship or potential carbon monoxide or gas leaks.

Plumbing inspections are not within the scope of the building inspection and must be conducted by a Licensed and Registered Tradesperson. It is highly recommended that the client arranges for a licensed gas plumber to check the appliances and plumbing to ensure they are working safely and efficiently. A registered plumber with the necessary instrumentation can detect gas leaks that may not be apparent otherwise. The plumber will inspect all appliances, including ovens, heaters, hot water services, and similar, as well as the plumbing installation.

Similarly, any electrical appliances and services should be maintained and serviced by a qualified electrician or appropriate technician or manufacturer service agent.

It is important to note that some properties may have both gas and electrical appliances, while others may only have one or the other.



For your information 4.03

Location:

Reference Items

Finding:

Locked Area-NO ACCESS

At the time of the inspection, the communal roof was locked and NO ACCESS was available.

For your information 4.04

Location:

Finding:

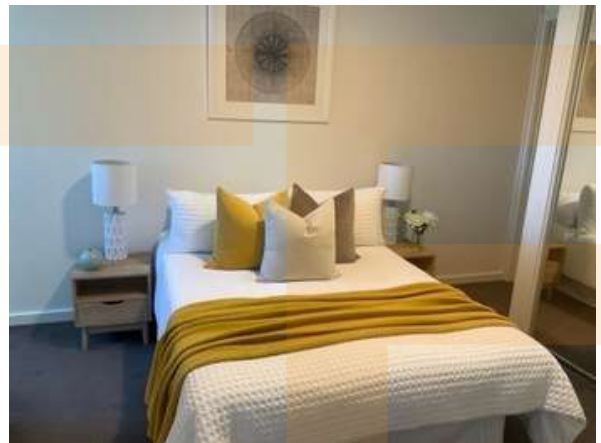
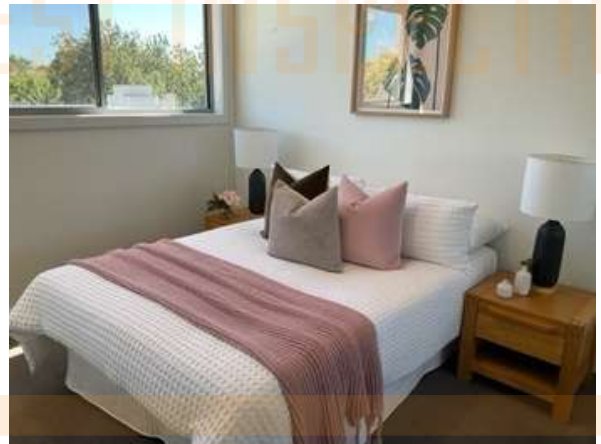
Site Reference Obstructions and Limitations During the inspection of this property, we encountered obstructions and limitations that hindered a thorough examination.

These photographs provide a glimpse of the obstacles we faced, but it is important to note that there may be areas not captured due to their difficulty or inaccessibility. These obstructions can potentially conceal a range of defects, including minor and major issues, safety hazards, termite activity, and environments conducive to termite infestation, among others.

We acknowledge that obstructions and limitations are common in our industry, and we strive to work within these constraints.

At your discretion, when a property has residents, furniture, stored items and various other items on-site we recommend a re-inspection once the property is vacant and/or emptied, allowing for a more comprehensive assessment without furniture, belongings, or storage obstructing our view. This will enable us to possibly provide you with a more accurate and detailed report.

We encourage you to review the report thoroughly and reach out to us for any necessary discussions or clarifications.





For your information 4.05

Location:

Site Reference

Finding:

2 x Smokes Detectors - Recommend Battery Replacement.

Upon moving into a property, it is highly recommended that the battery of a smoke detector be replaced. By replacing the battery of a smoke detector you will now have a reference point as to when the new battery was installed.

A Smoke detector battery should be replaced within 12 month intervals.

It is highly recommended that the replacement date of a battery be kept in a log book.

Pre-purchase building inspections do not require testing of smoke detectors.

It is easy to make the assumption that testing a smoke detector is simply by pressing the test button, and yes this is a test, but it is not a complete test for a smoke detector.

There are other forms of testing in order for a complete assessment of a smoke detector, and it is highly recommended to engage a qualified electrician to test the complete operation of a smoke detector.

ADDITIONAL INFORMATION :-

Whilst this information is for new building codes and standards, it is highly recommended to follow this information for any property with occupants.

In a Class 1a building, smoke alarms must be located in—

(a) Any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building.
and

(b) Each other storey not containing bedrooms.



For your information 4.06

Location:

Balcony

Finding:

Inadequate Fall to Tiles in balcony

During our inspection of the property, we observed a defect with the balcony tiles that raised concerns regarding water retention on the surface. The tiles do not have sufficient fall, which could potentially lead to the deterioration of the tile grout mortar and sealant, posing a safety hazard.

We recommend that you further investigate this matter with a registered builder or a specialized balcony repair expert. It is important to note that the inadequate fall in the tiles may be a significant contributing factor to the deteriorating tile grout.

According to Australian standards, falls in finishes should ensure that water drains to the drainage outlet, with residual water being the only exception. Unfortunately, the fall on the balcony does not meet the requirement of 10mm per 1m. Therefore, we suggest taking remedial action to rectify the insufficient fall, following the guidelines provided by the Australian Standard AS4654.2 for external waterproofing.

It is important to note that this is not a simple fix and would likely require an expensive repair process. This may include tile removal, substrate repair, re-waterproofing, and possibly addressing any further hidden damages that may be hidden until invasive works, begin.

We understand that this may be a significant undertaking, but it is necessary to ensure the safety and longevity of the balcony.





For your information 4.07

Location:

Site Reference

Finding:

Paint & Plaster Condition - Overall

Reporting on visual cosmetic damages to the building materials, paint finishes, plaster and timber surfaces is not in the scope of a pre-purchase report, however, I would like to provide this extra information for your consideration.

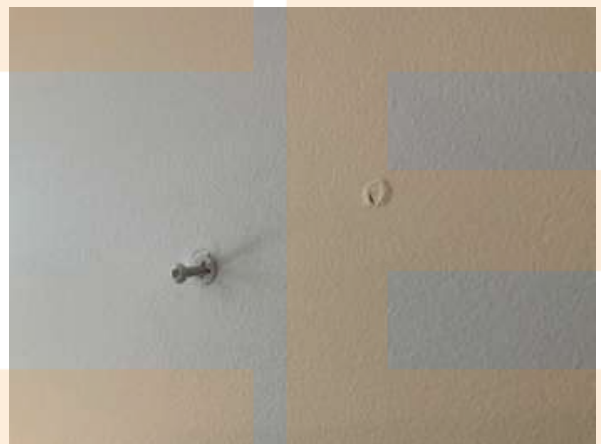
There are typical type damages to the plaster work and timber work. The various damages are generally cosmetic.

The paint and plaster surface damages remain consistent and typical with general wear and tear.

It was observed that the property has undergone painting and paint repairs to areas.

It is unknown how severe hidden plaster and/or timber cracks may have been before the plaster & paint work was performed. Generally time brings out cracking with ongoing movement to the property.

Whilst our inspections are as careful and methodical as we can be, it is sometimes impossible to know how serious some of the damages / cracking were prior to the painting and patching repairs, so there is always the possibility that the plaster or timber cracks in part or full will come back.





Conclusion

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

In the opinion of this Consultant:

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Below average with urgent repairs required

The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Slightly below average with repairs required

Building consultant's summary



◆ OBLIGATIONS.

Nationwide building and pest inspections is not an advocate for the client and all statements and information within this report are completely from an objective and unbiased professional opinion.

◆ BUILDING INFORMATION

Note : The Australian Standards for prepurchase building inspections (AS 4349.1-2007) does not require our inspections to cover items such as footings belowground, concrete slabs belowground, concealed plumbing, appliances such as air-conditioners, ovens and the like, carpet, quality of paint and typical paint defects, fixtures and fittings, mirrors and all other typical minor defects to the interior of the home and the exterior of the home including landscaping.

typical minor defects to the interior of the home and the exterior of the home including landscaping. In saying the above, we do go over much more than the minimum Australian Standards in our inspections & reports to provide information on certain items above or not listed for a better understanding of the property.

Minor defects such as paint quality, plaster quality, damaged or worn items / materials can be repaired at your discretion, however minor defects such as caulking, silicon and water related damage should be repaired at your very earliest convenience to prevent and/or stop any damages or further damages. (it's important to know that if defect is categorised as a minor defect, that does not mean it is not of great importance.)

◆ **PROCEDURE FOR ALL REPAIRS, IN THIS REPORT**

Before the defects in this report can be repaired, it is first important to discover and repair the cause or source of the defects, otherwise the defects will re-occur and cause further damages.
(Note the cause or source of the defect items, is the actual problem that is causing the damage)

◆ **OVERALL GENERAL CONDITION**

It has come to my attention that the property is approximately 15 years old, and I have assessed its condition based on this information, as outlined below. Please note that if the property's age varies by a couple of years, the following statements regarding its condition would remain the same or very similar.

Overall Property Internally is in Average to Slightly Below Average Condition, for the properties type and age.

Note important repairs as detailed in this report.

Average Condition, for the properties type and age.

Average to Slightly Above Average Condition, for the properties type and age. Note important repairs as detailed in this report.

Overall Property Externally is in Reasonable Condition, for the properties type and age.

Note important repairs as detailed in this report.

Average to Slightly Below Average Condition, for the properties type and age. Note important repairs as detailed in this report.

◆

◆ **IMPORTANT** - Please do not underestimate items listed in this report under 'For Your Information' or 'Minor Defect.' Items that may appear minor under Australian Standards can develop into major defects. The intent is to address minor defects or even 'For Your Information' items to prevent potential or ongoing building damage. Do not focus only on major defects or safety hazards. Please ensure you understand the 'For Your Information' and 'Minor Defect' items in this report.

Of course, certain items with wear and tear or even substandard work at a handyman level may be repaired at your discretion. However, it is important to distinguish between a cosmetic or aesthetic item and one that requires attention.

If you are unsure about anything, do not hesitate to contact the Nationwide building Inspections, inspector that is responsible for this report.

◆ **TERMITE / TIMBER PEST INFORMATION**

Termite timber pest damage was not found on the property and further information is in the report.

As there appears to be NO termite timber pest control system, the client is **RECOMMENDED** gaining further advice from a licensed pest controller as to the costs and procedures involved with application of a termite management system and/or eradication treatment which should be treated as **A PRIORITY**.

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of active (live) termites

Not Found

Evidence of termite activity (including workings) and/or

Not Found

damage Evidence of a possible previous termite management

Not Found

program Evidence of chemical delignification damage

Not Found

Not Found

Evidence of fungal decay activity and/or damage Evidence of

Not Found

wood borer activity and/or damage Evidence of conditions

Not Found

conducive to timber pest attack Next inspection to help

detect a future termite attack is

recommended in

Undetected timber pest defect risk assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered:

Moderate

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack.

Significant Items

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out.

Timber pest attack

ACTIVE (LIVE) TERMITES

Important Note. As a delay may exist between the time of an attack and the appearance of telltale signs associated with an attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

No evidence was found

TERMITE WORKINGS AND/OR DAMAGE

No evidence was found

CHEMICAL DELIGNIFICATION

No evidence was found

FUNGAL DECAY

No evidence was found

WOOD BORERS

No evidence was found

Conditions conducive to timber pest attack

LACK OF ADEQUATE SUBFLOOR VENTILATION

No evidence was found

THE PRESENCE OF EXCESSIVE MOISTURE

No evidence was found

BRIDGING OR BREACHING OF TERMITE MANAGEMENT SYSTEMS AND INSPECTION ZONES

No evidence was found

UNTREATED OR NON-DURABLE TIMBER USED IN A HAZARDOUS ENVIRONMENT

No evidence was found

OTHER CONDITIONS CONDUCTIVE TO TIMBER PEST ATTACK

No evidence was found

Serious Safety Hazards

No evidence of Serious Safety Hazards were found

For your information

SUBTERRANEAN TERMITE MANAGEMENT PROPOSAL

For your information 5.01

Location:

Site Reference

Finding:

NO Termite Management System Appears To Be Protecting The Property

Please note that, at the time of inspection, the meter box was locked, so we are assuming there is no termite management system in place. However, we highly recommend that the appropriate authorized personnel unlock the meter box to allow for further assessment.

At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with various termite management applications, as there are numerous termite treatments on the market and each property may require a different management system. It is important to gain further professional advice on the termite management system from companies that can provide all the various treatments on the market because if you gain professional advice from a company who only provides one specific system, you may be limiting your best treatment for the property.

◆ It is recommended that obtaining such advice be of consideration.

◆ The application of a post-construction chemical termite barrier and/or baiting stations or the like is highly recommended for all properties.

Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be on the property building to indicate current termite barriers.

A durable notice must be permanently fixed to the building in a prominent location, such as in a meter box, switchboard or the like, indicating—

the termite management system used; and

(a) the date of installation of the system; and

(b) where a chemical is used, its life expectancy as listed on the appropriate authority's register label; and

(c) the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity



For your information 5.02

Location:

Site Reference

Finding:

Identification Procedures - Moisture Readings & Timber Risk

No Timber Damage Detected, related to timber pest.

Wood rot, known as fungal decay is not related to this statement.

All areas accessible of the dwelling are checked with particular attention paid to the wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies.

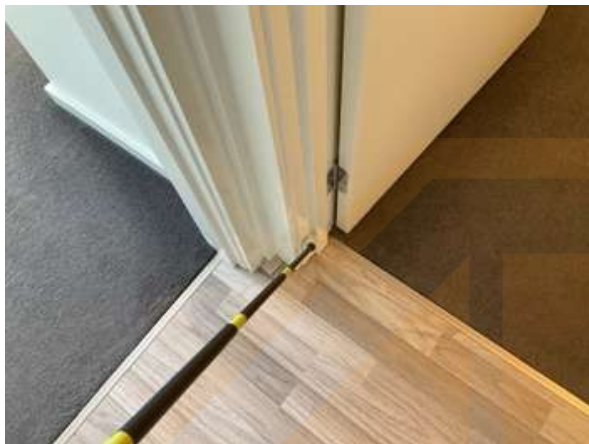
In attempt to identify the presence of hidden timber pest activity , a variety of techniques are adopted to identify irregularities including, a moisture meter for digital moisture meter assessments, thermal imaging where we feel appropriate to be performed, sounding of timber elements using a device called a " donga" for comparative analysis of various timbers, visual assessments of materials affected by moisture or signs of deformity, trails and bridging constructed by termites , irregular and regular shaped holes in timber elements indicating pest destruction in general overall visual inspection by an experienced inspector.

◆ Identification Procedures to find High Moisture Readings —

◆ The identification procedures to identify above average hidden moisture readings was within the acceptable ranges of 0% to 20%.

Note - There may be other areas of high risk and conducive environments for termites noted in other areas of this report.

As all areas are not able to be inspected due obstructions and limitations, we therefore can not rule out the possibility of concealed timber pest activity.



PREVIOUS TERMITE MANAGEMENT PROGRAM

No evidence was found

Conclusion

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

The following Timber Pest remediation actions are recommended:

1. No treatment of Timber Pest Attack is required.
2. In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is recommended.
3. No removal of Conditions Conducive to Timber Pest Attack is necessary.
4. Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended in

Risk management options

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical management system. However, AS 3660 stresses that subterranean termites can bridge or breach management systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

Signature of consultant -



Definitions to help you better understand this report

----- PROPERTY INSPECTION REPORT ----- “Client” The person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained). “Building Consultant” A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 ‘Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings’. The consultant must also meet any Government licensing requirement, where applicable. “Building and Site” The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries. “Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant’s unobstructed line of sight and within arm’s length. “Structure” The loadbearing part of the building, comprising the Primary Elements. “Primary Elements” Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term ‘Primary Elements’ also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to- floor access such as stairways; and the structural flooring of the building such as floorboards. “Structural Damage” A significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories: (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs. (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s). (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements. (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites. “Conditions Conducive to Structural Damage” Noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage. “Secondary Elements” Those parts of the building not providing loadbearing capacity to the Structure, or those non- essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors. “Finishing Elements” The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term ‘Finishing Elements’ does not include furniture or soft floor coverings such as carpet and

tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino. "Major Defect" A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property. "Minor Defect" A defect other than a Major Defect. "Serious Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed. "Tests" Where appropriate the carrying out of tests using the following procedures and instruments: (a) Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed. (b) Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster."

----- TIMBER PEST INSPECTION REPORT ----- "Timber Pest Attack" Timber Pest Activity and/or Timber Pest Damage. "Timber Pest Activity" Telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection. "Timber Pest Damage" Noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests. "Major Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed. "Conditions Conducive to Timber Pest Attack" Noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests. "Readily Accessible Areas" Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes: (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide). "Client" The person or persons for whom the Timber Pest Report was carried out or their Principal (i.e. the person or persons for whom the report was being obtained). "Timber Pest Detection Consultant" A person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable. "Building and Site" The main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s). "Timber Pests" One or more of the following wood destroying agents which attack timber in service and affect its

“Timber Pests” One or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Chemical Delignification - the breakdown of timber through chemical action
- (b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (c) Wood Borers - wood destroying insects belonging to the order ‘Coleoptera’ which commonly attack seasoned timber.

- (d) Termites - wood destroying insects belonging to the order ‘Isoptera’ which commonly attack seasoned timber.

“Tests” Additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

“Instrument Testing” Where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- (b) stethoscope - an instrument used to hear sounds made by termites within building elements;
- (a) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) sounding - a technique where timber is tapped with a solid object.

“Subterranean Termite Management Proposal” A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

Terms on which this report was prepared

----- PROPERTY INSPECTION REPORT ----- Service 1. This agreement is between the building consultant (“Inspector”) and you (“Client”). You have requested the Inspector to carry out an inspection of your property for the purpose of preparing a Standard Property Report (“Report”) to you outlining their findings and recommendation from the inspection. 2. The purpose of the inspection is to provide the Client with an overview of the Inspector’s findings at the time of the inspection and advice as to the nature and extent of their findings. 3. This Report has been prepared at the direction of and exclusively for the Client. Details contained within this Report are tailored to the Pre-Inspection Agreement between the Inspector and the Client at the time of the Inspection and no other party can rely on the Report nor is the Report intended for any other party. Scope of the Report 4. This Report is limited to the findings of the of the Inspector at the time of the inspection and any condition of the property which is not within the scope as set out herein or which occurs after the inspection is expressly excluded from this Report. 5. This Report expressly addresses only the following discernible to the Inspector at the time of inspection: (a) Major Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage; (b) any Major Defect in the condition of Secondary Elements and Finishing Elements and collective (but not individual) Minor Defects; and (c) any Serious Safety Hazard. 6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the

6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the building or site and given the state of property at the time of the Inspection.

7. This Report does not include the inspection and assessment of items or matters that are beyond the Inspectors direct expertise.

Inspection Limitations

8. The Inspection is limited to Readily Accessible Areas of the Building & Site based on the Inspector's visual examination of surface work (excluding furniture and stored items) and the carrying out of Tests.

9. Where the Inspection is carried out on a strata or company title property, the Inspection is limited to the interior and the immediate exterior of the residence inspected. The Inspection does not extend to common property areas and the Inspector will not inspect common property areas.

10. The Inspector's findings do not extend to matters where the Inspector was restricted or prevented from assessing the building or site as a result of:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint;
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out; and
- (c) areas of the building or site that were obstructed at the time of the inspection or not Readily Accessible Areas of the Building Site. An obstruction may include a condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

Exclusions

11. This Report does not consider or deal with the following:

- (a) any individual Minor Defect;
- (b) solving or providing costs for any rectification or repair work;
- (c) the structural design or adequacy of any element of construction;
- (d) detection of wood destroying insects such as termites and wood borers;
- (e) the operation of fireplaces and chimneys;
- (f) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (g) lighting or energy efficiency;
- (h) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (i) any appliances or white goods including dishwashers, refrigerators, ovens, stoves and ducted vacuum systems;
- (j) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (k) a review of environmental or health or biological risks such as toxic mould;
- (l) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (m) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (n) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

12. Should the Client seek information from the Inspector related to one of exclusions above, that information is to be provided by way of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. Additional information requested by the Client is not included in this Report.

Workplace Safety

13. The Client warrants to the Inspector (including the Inspector's, agents, employees and other personnel) that the Building Site is, to the Client's reasonable knowledge, safe and free of hazardous materials and that no party of the Building site constitutes a dangerous environment or work place safety concern.

Acceptance Criteria

14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the

14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the Special Conditions or Instructions. The similar building which the Inspector may compare the current building to was, to the best of the Inspector's knowledge, constructed in accordance with ordinary building construction and maintenance practices at the time of construction and as such has not encountered significant loss or of strength or serviceability.
15. The Inspector assumes in their Report that the existing use of the building or site will continue unless specified otherwise in the Special Conditions or Instructions.

Acknowledgments

16. The Client Acknowledges that contents of the Report is subject to the Scope of the Report, Inspection Limitations, Exclusions and Acceptance Criteria. This Report does not include recommendations or advice about matters outside the scope of the requested inspection.
17. Should the Client have any queries or concerns about the purposes, scope or acceptance criteria on which this Report was prepared, all enquiries or concerns are to be discussed with the Inspector within a reasonable time upon receipt of this report.
18. The Client acknowledges that they will take all reasonable steps to implement any recommendation or advice provided by the Inspector in their Report as a matter of urgency specified otherwise.
19. Any further discussions the Inspector following the production of this Report addressing concerns will not be reflected in this Report and as such the Report may not contain all advice or information related to the building or site provided by the Inspector.
20. The Client acknowledges that a visual only inspection restricts the Inspectors capacity to inspect the building or site thoroughly and is not recommended by the Inspector unless an inspection of the Readily Accessible Areas and appropriate tests are also carried out.
21. The Client Acknowledges that in accordance with the Australian Standard AS4349.0 2007 Inspection of Buildings, this Report does not warrant or give insurance that the building or site from developing issues following the date of inspection.
22. The Client acknowledges that the Inspector is not affiliated with Hello Inspections Pty Ltd ACN 620 518 238 ("Hello Inspections") nor is Hello Inspections liable for the content of the Report prepared by the Inspector or any other third party and the Client hereby indemnifies Hello Inspections from all claims, losses and damage arising, either directly or indirectly, from the Report and the Client accepts this document can be presented to a court as a complete bar to any proceedings by the client or its agents or related parties against Hello Inspections. The Client further acknowledges the Inspector is the agent for Hello Inspections solely for the purposes of this clause.
23. The Client acknowledges that Hello Inspections may reproduce the content within this Report for any commercial purpose, including sale of the Report in whole or in part to third parties, provided personal details or information of the Client contained therein are excluded.

----- TIMBER PEST INSPECTION REPORT -----

Service

1. This agreement is between the Timber Pest Detection Consultant ("the Inspector") and you ("Client"). You have requested the Inspector to carry out an inspection of your property for the purpose of preparing a Pre-Purchase Standard Timber Pest Report ("Report") to you outlining their findings and recommendations from the inspection.
2. The purpose of the inspection is to provide the Client with an overview of the Inspector's findings at the time of inspection which includes whether the inspector has identified any Timber Pest issues and advice as to the nature and extent of those findings.
3. This Report has been prepared at the direction of and exclusively for the Client. Details contained within this Report are tailored to the Pre-Inspection Agreement between the Inspector and the Client at the time of the Inspection and no other party can rely on the Report nor is the Report intended for any other party.
- Scope of this Report

other party can rely on the Report nor is the Report intended for any other party. Scope of this Report 4. This Report is limited to the findings of the Inspector at the time of the inspection and any condition of the property which is not within the scope as set out herein or which occurs after the inspection is expressly excluded from this Report. 5. This Report expressly addresses only the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible to the Inspector at the time of inspection. 6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the building or site and given the state of property at the time of the Inspection. Inspection Limitations 7. The Inspection is limited to Readily Accessible Areas of the Building & Site based on the Inspector's visual examination of surface work (excluding furniture and stored items) and the carrying out of Tests. 8. Where the Inspection is carried out on a strata or company title property, the Inspection is limited to the interior and the immediate exterior of the residence inspected. The Inspection does not extend to common property areas and the Inspector will not inspect common property areas. 9. The Inspection is not in respect of a particular type of timber pest. Any analysis of a specific timber pest is to be at the request of the Client in which the Inspector would present their findings in a Special-Purpose Inspection Report separate from this Report. 10. The Inspector's findings do not extend to matters where the Inspector was restricted or prevented from assessing the building or site as a result of: (a) possible concealment of timber pest attack, including but not limited to, timber pest attack concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; (b) undetectable or latent timber pest attack, including but not limited to, timber pest attack that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out; (c) areas of the building or site that were obstructed at the time of the inspection or not Readily Accessible Areas of the Building Site. An obstructions may include a condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth; Exclusions 11. This Report does not consider or deal with the following: (a) any information or advice related to timber pest preventative, treatment, rectification, or maintenance options for an attack by Timber Pests; and (b) an environmental risk assessment or biological risk associated with Timber Pests (e.g. toxic mould), occupational health and safety issues. 12. Should the Client seek information from the Inspector related to one of exclusions above, that information is to be provided by way of a Special-Purpose Inspection Report or management proposal which is adequately specified and must be undertaken by an appropriately qualified inspector. Additional information requested by the Client is not included in this Report. Workplace Safety 13. The Client warrants to the Inspector (including the Inspector's, agents, employees and other personnel) that the Building Site is, to the Client's reasonable knowledge, safe and free of hazardous materials and that no party of the Building site constitutes a dangerous environment or work place safety concern. Acceptance Criteria

Acceptance Criteria 14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the Special Conditions or Instructions. The similar building which the Inspector may compare the current building to was, to the best of the Inspectors knowledge, constructed in accordance with ordinary timber pest management and maintenance practices that ensure it does not attract or support a timber pest infestation during its life. 15. The Inspector assumes in their Report that the existing use of the building or site will continue unless specified otherwise in the Special Conditions or Instructions. 16. The Inspector does not guarantee or warrant the absence of Timber Pests in their Report. The Client acknowledges that certain species may be more difficult to identify than others or require regular inspection or testing to help monitor infestation of the species or susceptibility of the timber, including but not limited to the following species: (a) Drywood termites. This species has extremely small colonies and is difficult to detect; and (b) European House Borer (*Hylotrupes bajulus*). It is difficult to detect an attack or infestation of this species as the galleries of boring larvae rarely break through the affected timber surface. Acknowledgements 17. The Client acknowledges that the contents of the Report is subject to the Scope of the Report, Inspection Limitations, Exclusions and Acceptance Criteria. This Report does not include recommendations or advice about matters outside the scope of the requested inspection. 18. The Client acknowledges that this Report does not assess the structural integrity of the building or site. 19. Should the Client have any queries or concerns about the purposes, scope or acceptance criteria on which this Report was prepared, all enquiries or concerns are to be discussed with the Inspector within a reasonable time upon receipt of this report. 20. The Client acknowledges that they will take all reasonable steps to implement any recommendation or advice provided by the Inspector in their Report as a matter of urgency unless specified otherwise. 21. Any further discussions the Inspector following the production of this Report addressing concerns will not be reflected in this Report and as such the Report may not contain all advice or information related to the building or site provided by the Inspector. 22. The Client acknowledges that the Inspector is not affiliated with Hello Inspections Pty Ltd ACN 620 518 238 ("Hello Inspections") nor is Hello Inspections liable for the content of the Report prepared by the Inspector or any other third party and the Client hereby indemnifies Hello Inspections from all claims, losses and damage arising, either directly or indirectly, from the Report and the Client accepts this document can be presented to a court as a complete bar to any proceedings by the client or its agents or related parties against Hello Inspections. The Client further acknowledges the Inspector is the agent for Hello Inspections solely for the purposes of this clause. 23. The Client acknowledges that Hello Inspections may reproduce the content within this Report for any commercial purpose, including sale of the Report in whole or in part to third parties, provided personal details or information of the Client contained therein are excluded.