



Building & Termite / Pest Report

Inspection Date: 16 Feb 2025

Property Address: Sample Street Bundoora 0101



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Inspection Details

Property Address: Sample Street Bundoora 0101

Date: 16 Feb 2025

Client

Name: Mrs Jones

Email Address: hello@sample.com

Phone Number: 000 12313

Consultant

Name: Zubair Akhtar

Email Address: Acebuildingandpest@gmail.com

Company Name: Ace Building and Pest Inspection

Company Address: Ringwood Victoria 3134

Company Phone Number: 0413 163 187

General description of property

Building Type:	Detached House
Storeys:	Single storey
Smoke detectors:	2 fitted, but not tested IMPORTANT NOTE - The adequacy and testing of smoke detectors is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.
Siting of the building:	Towards the front of a medium-size block
Gradient:	The land is flat
Site drainage:	There are areas of concern as detailed in the report
Access:	Typical Access
Occupancy status:	Unoccupied
Furnished:	Fully furnished

Strata or company title properties:	Not Applicable For This Report
Orientation of the property:	The facade of the building faces west Note. For the purpose of this report the façade of the building contains the main entrance door.
Weather conditions:	Dry

Primary method of construction

Main building – floor construction:	Concrete flooring
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Main building – wall construction:

Brick veneer (timber framed)

Main building – roof construction:

Pitched, Timber framed, Finished with roof tiles

Overall standard of construction:

Overall, typical construction, however many repairs required

Overall quality of workmanship and materials: Average

Level of maintenance:

Reasonably maintained.

Special conditions or instructions

Special requirements, requests or instructions given by the client or the client's representative -

There are no special conditions or instructions

BUILDING AND PEST INSPECTION

BUILDING AND PEST INSPECTION

Inspection Agreement

AS 4349.1-2007 and 4349.3-2010 require that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection

Inspection agreement supplied: No

Terminology

The definitions below apply to the types of defects associated with individual items / parts or inspection areas -

Damage	The building material or item has deteriorated or is not fit for its designed purpose
Distortion, warping, twisting	The item has moved out of shape or moved from its position
Water penetration, Dampness	Moisture has gained access to unplanned and / or unacceptable areas
Material Deterioration	The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay
Operational	The item or part does not function as expected
Installation	The installation of an item is unacceptable, has failed or is absent

Scope of inspection

BUILDING INSPECTION This is a visual Building Inspection Report carried out in accordance with AS4349.1 -2007. The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection. The report covers only safety hazards, major defects, and a general impression regarding the extent of minor defects. The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability. **TIMBER PEST INSPECTION** This Visual Timber Pest Inspection & Report is in accordance with Australian Standard 4349.3 -Inspection of Buildings Part 3: Timber Pest Inspections. This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Accessibility

Unless noted in “Special Conditions or Instructions”, the inspection only covered the Readily Accessible Areas of the Building and Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

“Readily Accessible Areas” means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term ‘readily accessible’ also includes:

(a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and

(b) areas at the eaves of accessible roof spaces that are within the consultant’s unobstructed line of sight and within arm’s length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

“Building and Site” means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term “Building and Site” is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder’s debris, vegetation, pavements or earth.

Areas Inspected

The inspection covered the Readily Accessible Areas of the property

- Internal
- External
- Roof space limited in areas
- Boundaries
- Garden
- Garden limited due to vegetation
- Garage limited due to storage

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects.

Areas, which are not normally accessible, were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

Obstructions and Limitations

The following obstructions may conceal defects:

- Furniture
- Carpets
- Freshly painted
- Wall cladding
- Ceiling plasterboard
- Insulation
- Heating ducts

Obstructions increase the risk of undetected defects, please see the overall risk rating for undetected defects.

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of Serious Safety Hazard

Found

Evidence of Major Defect Evidence

Not Found

of Minor Defect

Found

Additional specialist inspections

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Not Applicable

Undetected defect risk assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected structural damage and conditions conducive to structural damage was considered:

Moderate

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

Significant Items

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out.

Serious Safety Hazard

Serious Safety Hazard 1.01

Location:

Garage

Finding:

Plaster Ceiling - Drummy / Sagging

When the plaster is severely compromised and bowed, we make this statement a safety hazard as the risk is much higher. However, at this stage the plaster does not appear to be too compromised, but please do not underestimate how quickly this situation can worsen.

Drummy plaster generally requires chemical re-adhesion or screwing back to the frame, followed by patching and painting. However, in some cases, the plaster may be permanently deformed and need to be replaced entirely.

The most common causes of plaster failure include sub-standard workmanship, physical damage, and moisture damage. Moisture, in particular, can cause the plaster to swell and shrink as the humidity changes. Minor sagging may only require re-gluing of ceiling sheets, which can be done by relevant tradespeople such as plasterers and painters. However, if excessive moisture has caused the roofing structure to swell and sag, it is crucial to identify and address the source of the water leak before undertaking any remedial works.

It is worth noting that the lack of insulation in the roof space, particularly in garages, can contribute to the development of drummy plaster.

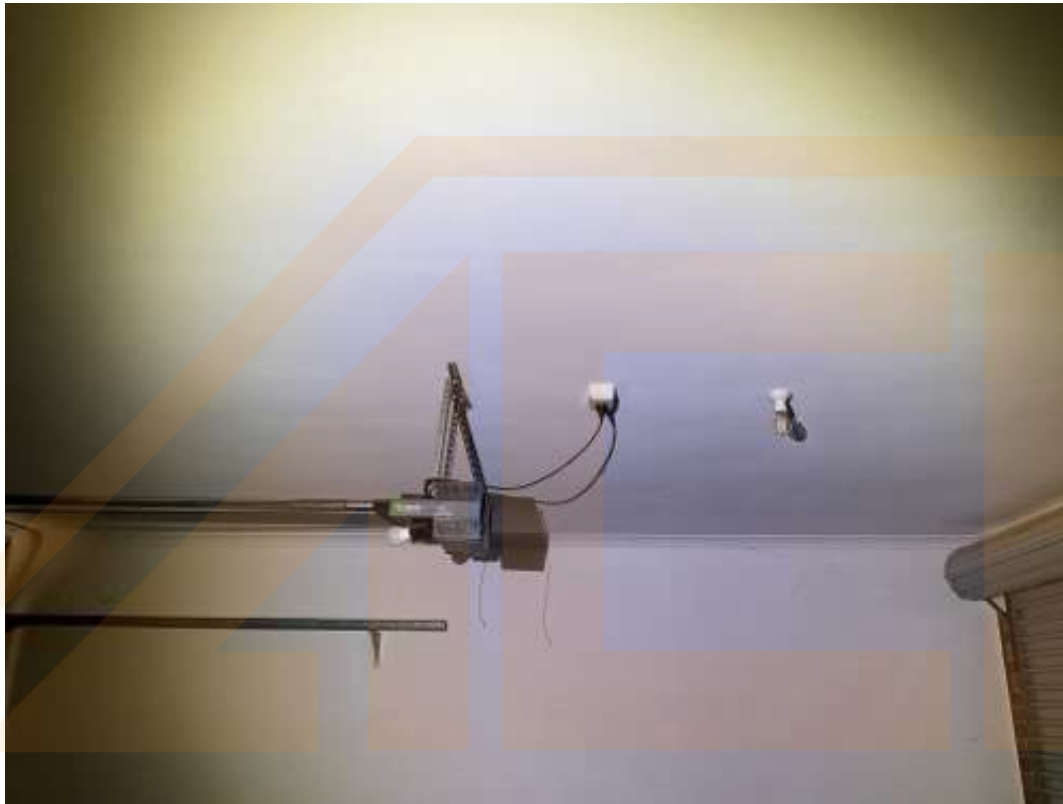
In this particular case, there is no insulation in the garage roof space protecting moisture attacking the plaster, so this certainly contributes to the problem.

Moisture exposure without insulation protection can damage the plaster. However, this may only be a contributing factor alongside other defects in the home, such as leaking roofs or defective workmanship, insufficient glue, and insufficient fixings.

To prevent drummy plaster and plaster damage, it is essential to maintain a moisture-free and humidity-controlled environment. We recommend engaging a qualified plasterer and/or builder to carry out any necessary remedial works.

In conclusion, the plaster defects in various areas of this property require immediate attention.

We suggest the client takes prompt action to address the issue, engaging qualified professionals to assess and rectify the plaster as necessary.



Serious Safety Hazard 1.02

Location:

Internal Areas

Finding:

Mould - Present

Evidence of mould growth was observed. It is important to note that the presence of mould may indicate potential environmental, biological, or health issues.

To address any concerns regarding air quality spores or related issues, it is advisable to seek a specialist inspection from a suitably qualified environmental health inspector or a mould remediation company, especially if the mould is extensive.

In order to prevent further mould formation and development, it is recommended that the client ensures the general environment is free from moisture and humidity. However, in cases where the mould infestation is particularly severe, it is advised to engage the services of a professional cleaning contractor for thorough cleaning or remediation works. It is crucial to not only eliminate the visible mould but also determine the underlying cause of its growth. Simply getting rid of the mould without addressing the source may lead to its recurrence.



Major Defect

No evidence was found

Minor Defect

Minor Defect 2.01

Location:

Concrete - All Areas

Finding:

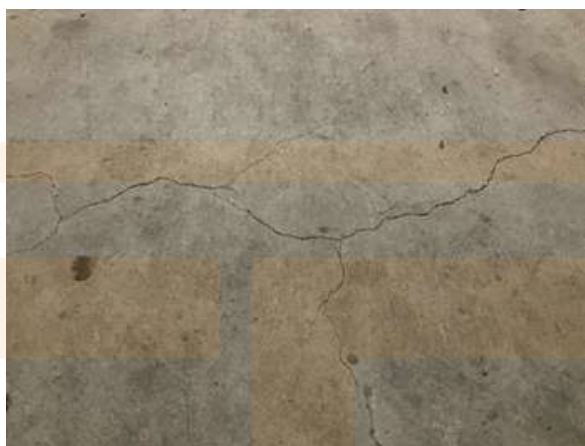
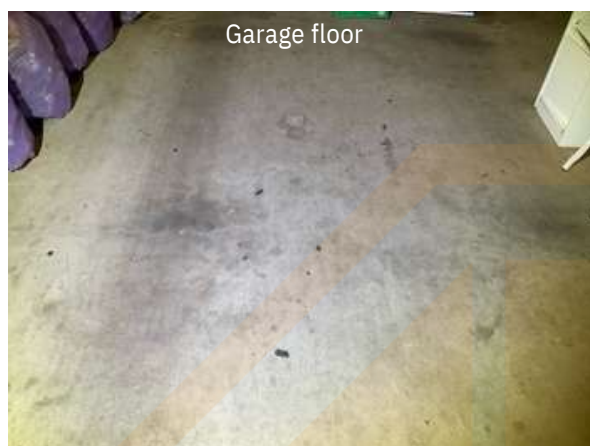
Concrete - Cracking (under 5mm)

During the inspection of the property, it was observed that the concrete to area's has minor cracking. It is important to note that minor cracking, typically under 5 mm, is considered normal for concrete surfaces, such as paving, garage surfaces, driveways, or similar. However, if the cracks open and exceed 5 mm and/or if the concrete show signs of lifting or sinking, it may indicate more significant issues such as poor installation related to insufficient steel mesh or other factors.

Concrete movement can be related to significant tree roots, bad drainage causing excessive wetness, unstable grounds, and/or heavy machinery.

To ensure the long-term stability of the concrete, I highly recommend having a professional assessment conducted in approximately 12 to 18 months. This assessment should be carried out by a skilled individual building Consultant, Engineer in severe cases, Concretor, Builder or similar skilled person with the understanding of concrete, who can determine if any further opening, movement or lifting of the concrete occurs.

Taking proactive measures will help identify and address any potential issues before they worsen.



Minor Defect 2.02

Location:

Garden - Perimeter Area's Garden trees - Overhanging and filling gutters Overhanging trees often result in excessive amounts of leaf debris accumulating in gutters.

Finding:

Gutters are a critical part of the building's management of storm water and rain. It is therefore important that they be kept clear to prevent secondary damage to associated building elements, including exterior and interior walls, ceiling linings and any adjoining building elements. Where gutters are blocked, pooling of rainwater is likely to occur, fast-tracking rust and corrosion of the roof plumbing elements.

It is highly advised that all overhanging tree branches be removed as soon as possible to prevent any further damage. Repair and/or replacement of sections of damaged guttering may also be required where the extent of the damage necessitates.

Such works should be performed by the homeowner; however, appointment of a landscape contractor or an arborist may be required. Consultation with a licensed roof plumber is required where guttering has been damaged.

The property is a very high risk for termites as the environments to the property are very conducive with many susceptible areas.

Please read the report carefully and Maintenance to all susceptible and conducive areas is a MUST to minimise the risk of termite and timber pest existence and timber damage.



Minor Defect 2.03

Location:

Roofing - Exterior Roof Capping - Mortar Deteriorated The exterior roofing is showing signs of moss

Finding:

growth, which can be common for properties that may not get appropriate sunlight on the roofing or this just occurs overtime. The exterior roofing appeared to be in good condition and engaging a professional cleaner will assist with the long-term protection of the tiled roofing.

It is always advisable to address potential issues promptly rather than allowing them to escalate.

Upon inspection of the exterior roof, it was noted that sections of the CEMENT TILE MORTAR has weathered and aged, showing varying levels of deterioration as the CEMENT TILE MORTAR has become loose, cracked and/or missing in the Valleys, Hips and/or Ridges.

Weathering of the tiles and cement tile mortar is typical and common with age of a property, however it is important to keep up the maintenance.

Where left unmanaged, deteriorating roof tiles and cement tile mortar is likely to lead to water ingress through the roofing which creates a number of secondary defects, including minor and/or major water leaks and weather exposure to internal roofing structures.

The majority of the exterior ROOF TILES and the CEMENT TILE MORTAR are considered to be in :- WEATHERED, BUT REASONABLY GOOD CONDITION

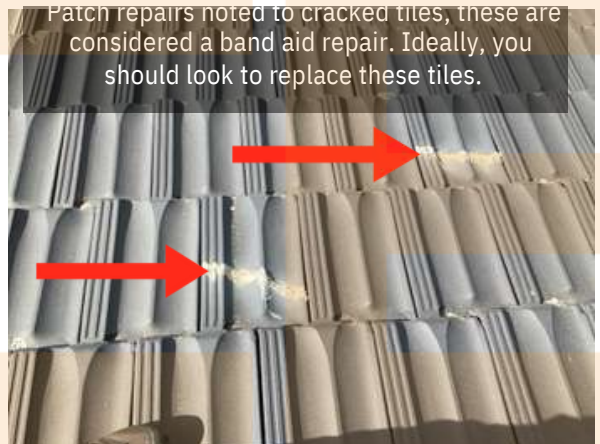
Weathering of the tiles may be consistent with the age of the property, however maintenance works are required to :- SOME AREAS OF THE CEMENT TILE MORTAR

Taking action to repair the roof will eliminate water ingress through the damaged areas and will increase the longevity of the exterior roofing structure.

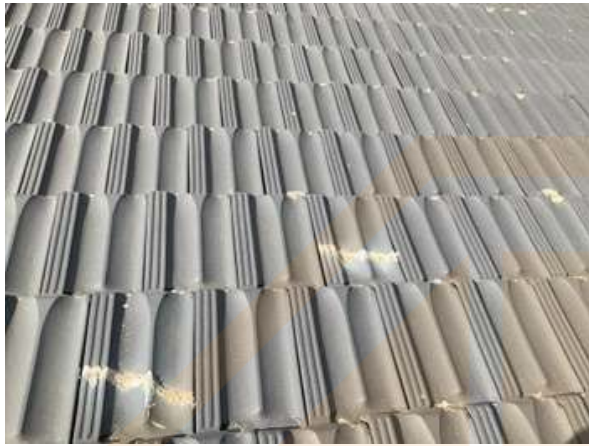
Consultation with a roofing contractor should be considered :- OF IMPORTANCE

Attached are minimal PHOTO EXAMPLES as a guide of the exterior roof, but it is imperative when engaging a roofing specialist to inspect, identify and repair the entire roof areas.





Patch repairs noted to cracked tiles, these are considered a band aid repair. Ideally, you should look to replace these tiles.



Minor Defect 2.04

Location:

Bathroom

Finding:

Towel Rail - Loose

The Towel Rail was found to be loose at the time of inspection. While not a major operational defect, function can deteriorate and cause further damage to the plaster/tiles if the problem is left unmanaged.

It is advised that the homeowner performs remedial works to re-attach the towel rail to its original fixing.

A general handyperson may be required to perform these works.



Minor Defect 2.05

Location:

Finding:

Sealant & Tile Grout Damages Tile Grout & Sealant Damages The sealant & tile grout is damaged and worn in area's, which poses a potential risk of water ingress and potential building damages. It is crucial that repairs are performed promptly.

You certainly do not want to wait for water damages to show and identify secondary building damages as by this time, the costly repairs are significant.

To address this, it is necessary to take out the old sealant & tile grout in its entirety and replace sealant & tile grout that can accommodate expected expansion and contraction while maintaining a watertight seal to protect all associated building materials. This will ensure the joints remain watertight and protective of all associated building materials.

It is highly recommended to engage a professional sealant & tile grout specialist that utilizes silicon/sealant like a Polyurethane seal to the tile junctions, corners, and edges and tile grout which can further enhance the repair's durability.

It is imperative that the necessary repairs and maintenance are carried out as soon as possible to prevent any potential building damages and to ensure the long-term durability and safety of the property.

It is recommended to engage a sealant specialist tiling contractor and/or registered builder to assess the damage caused by water in the affected areas, if any and can clean the area, remove old sealant and tile mortar, and then re-seal and re-mortar the affected areas promptly.

If there are loose or cracked tiles, which may also involve damaged waterproofing, these should be repaired first.

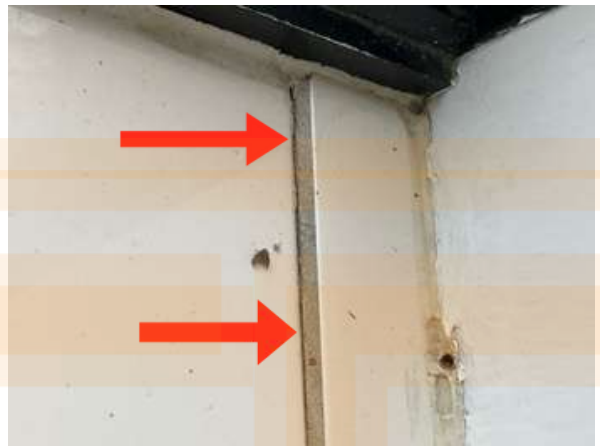
A HIGHLY RECOMMENDED OPTION :-

Alternatively, instead of hiring a typical tiler, another option is to engage a specialist trade that utilizes products like Kerapoxy flexible 2 part resin grout to replace the tile grout. This type of grout is nonporous, providing greater durability and a longer lifespan compared to standard tile grout. Applying silicone / sealant with a Polyurethane seal to the tile junctions, corners, and edges can further enhance the repair's durability. Many companies, such as the "Grout Guy," offer this service, ensuring cost-effectiveness, water damage prevention, and time savings. However, it is essential to ensure that the underlying building materials behind the tiles are structurally sound.

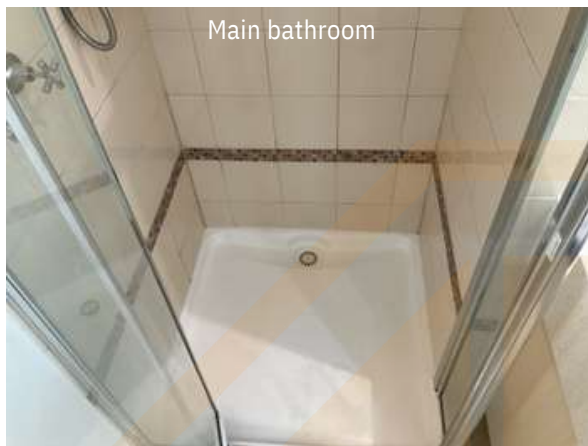
In conclusion, addressing the compromised silicone / sealant and tile grout in the wet areas is crucial to prevent water ingress and potential building damages. Engaging a sealant specialist or utilizing a specialist trade with products like Kerapoxy flexible 2 part resin grout can provide effective and long-lasting repairs.

It is vital to address any loose or cracked tiles, damaged waterproofing or any other building damages before proceeding with the repairs.

Sealant and grout to ensure bath and shower areas









Minor Defect 2.06

Location:

Ensuite

Finding:

Towel Rail - Loose

The Towel Rail was found to be loose at the time of inspection. While not a major operational defect, function can deteriorate and cause further damage to the plaster/tiles if the problem is left unmanaged.

It is advised that the homeowner performs remedial works to re-attach the towel rail to its original fixing.

A general handyperson may be required to perform these works.



Minor Defect 2.07

Location:

External Areas

Finding:

Paving Exterior Ground - Uneven

During the inspection of the external paved area, it was observed that sections of the paving are uneven, posing a potential trip hazard. This unevenness is primarily caused by a substandard base under the paving, excessive water accumulation in the area, and/or the presence of tree roots.

It is important to address this issue promptly to prevent personal injury to individuals within this area.

The recommended remedial action is to re-pave the affected area; however, it is crucial to first identify and repair the underlying cause of the problem. In cases where excessive water is the issue, a performance solution should be implemented. Moreover, it is essential to allow the soil to dry out before proceeding with the repaving process.

If significant tree roots are present, it is advisable to seek the assistance of an arborist, suitable tradesperson, or landscaper. It is worth noting that once a tree is removed or treated with poison, the large underground roots will decay and collapse, potentially destabilizing the soil and causing uneven paving once again. Therefore, it is vital to address any necessary rectification works before installing new paving, regardless of whether it will be continuous concrete or an exterior paving tile.



Minor Defect 2.08

Location: Kitchen

Finding: Tap - Loose

The tap in this area has not been installed correctly, or has deteriorated with age, and is consequently loose. This tap being loose creates potential for water leaks and subsequent water damage to the surrounding area.

Where taps are loose, a qualified plumber should be appointed to re-fix the plumbing fitting to prevent further secondary damages that may not be seen, creating water damage unseen.



Minor Defect 2.09

Location: Water Staining / Damages

Finding: Internal - Water Staining / Damages To Door Frame, Skirting and/or Windows

NO MOISTURE DETECTED - During the inspection of the area, water staining was observed on the surfaces surrounding the door/window frame area. This indicates that these surfaces have been exposed to moisture or water over time. While no excessive moisture was detected with our moisture meter at the time of the inspection, this does not mean that the concern is not ongoing. The problem may be intermittent and may not have been present during the inspection.

If the water staining is old and no longer active, the affected building materials can be repaired or replaced at the client's discretion, as long as the damage is purely cosmetic. However, it is recommended to monitor the area over a period of time to ensure that the moisture does not return.

It is advisable to have an appropriate handyman, carpenter, or similar professional assess the area to determine if there is any ongoing moisture issue overall period of time. If no moisture is detected, repairs can be carried out as needed, or the minor damage can be left at the client's discretion. However, if there are any signs of the timbers being exposed to water then they need to be repainted and sealed/caulked at a minimum for long-term protection.

Bedroom three



Bedroom four



Minor Defect 2.10

Location:

Doors

Finding:

Glass Door Sliding - Defective

During the inspection, it was observed that the sliding door in question was not functioning as smoothly as it should. It appeared to have difficulty when opening or closing, which could be attributed to a variety of issues. In order to rectify this defect, it is recommended that the door be cleaned, lubricated, adjusted, or potentially fitted with new parts.

To address this concern, the services of a handyman, carpenter, or a specialized window/door company can be enlisted. These professionals possess the necessary expertise to assess the specific problem with the sliding door and implement the appropriate repairs. Whether it requires a simple cleaning and lubrication, adjustment of the tracks, or the replacement of worn-out components, they will be able to identify and execute the most suitable course of action.

By having the sliding door attended to promptly, the functionality and convenience of accessing the affected area will be restored.



Minor Defect 2.11

Location:

Ensuite

Finding:

Tap - Loose

The tap in this area has not been installed correctly, or has deteriorated with age, and is consequently loose. This tap being loose creates potential for water leaks and subsequent water damage to the surrounding area.

Where taps are loose, a qualified plumber should be appointed to re-fix the plumbing fitting to prevent further secondary damages that may not be seen, creating water damage unseen.



Minor Defect 2.12

Location:

Doors

Finding:

Door Handle - Repair Required

At the time of the inspection the door handle in this area was found to be loose or not operating smoothly as the door handle should function.

Replacement or repair of the door handle is advised to improve the operational state of the associated door, also to ensure that a door does not remain locked, and unable to be opened. A qualified carpenter or general handyman should be appointed to replace or repair the door handle.



Minor Defect 2.13

Location:

Seperate Toilet

Finding:

Fan - Non-operational

The fan in this area was found to be broken or not operating correctly at the time of the inspection.

Breakage occurs generally when the building materials have either aged and decayed, but may be indicative of impact damage (accidental or deliberate).

The poor functionality of the fan decreases air flow and ventilation in the area; repair and/or replacement of the broken fan is therefore advised so as to ensure that the fan is fully operational.

A Licensed electrician should be appointed to repair/replace the fan at the client's discretion.



Minor Defect 2.14

Location:

Site Reference

Finding:

Plaster & Timber Cracking - Damage Category 2 - Noticeable (up to 5mm)

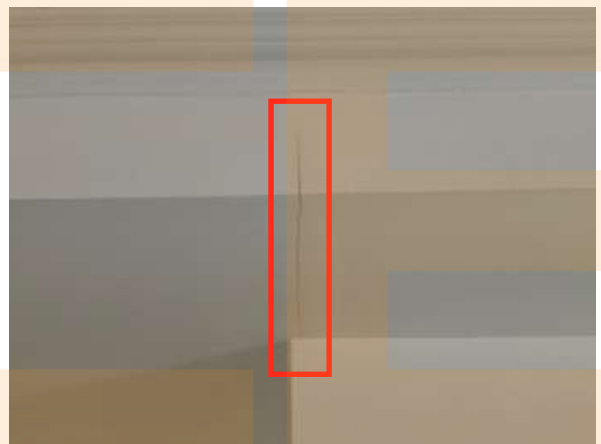
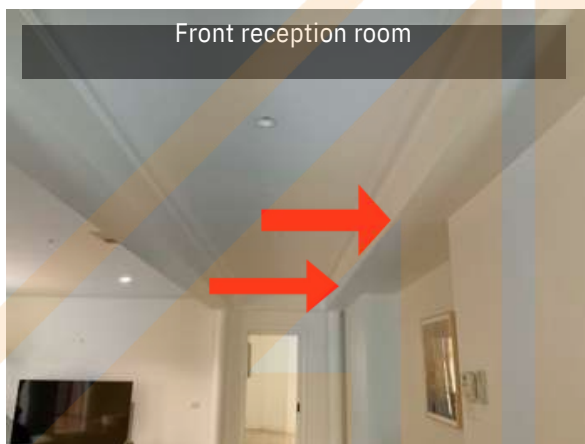
Noticeable cracks are a common occurrence as a result of many primary defects. Such causes may include age, general wear and tear, expected building movement, general expansion/contraction of building materials in different weather conditions, and/or minor failings in the installation or application of building materials.

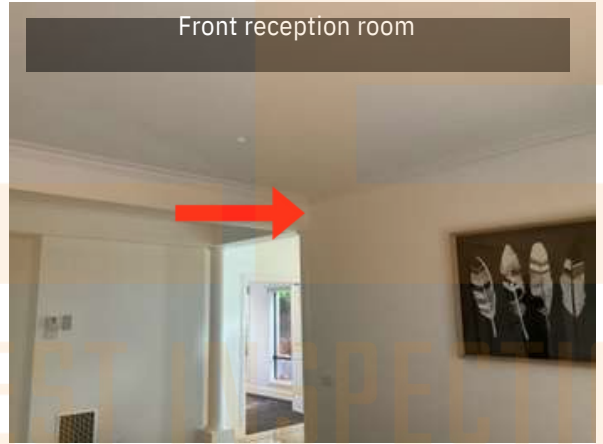
Noticeable cracks may result in minor sticking or jamming of associated doors and windows, which require easement. However, noticeable cracks are easily filled and repaired. A plasterer can be consulted to install an expansion joint at this point to allow for this movement during different weather conditions.

Monitoring of all cracking should be conducted frequently. Always contact a building inspector should cracks widen, lengthen, or become more numerous. Additionally, your building inspector should also be contacted if associated building elements such as doors and windows become more difficult to operate over time.

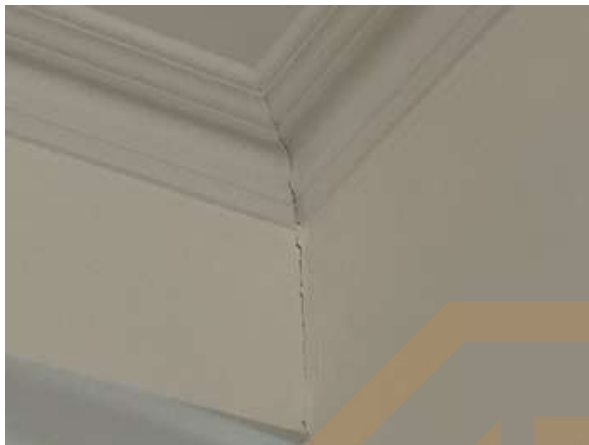
Relevant tradespeople, such as carpenters, painters and plasterers, should be appointed to perform remedial works, as deemed necessary.

ALL AREAS should be checked carefully for this defect and attached are a few PHOTO EXAMPLES as a GUIDE.

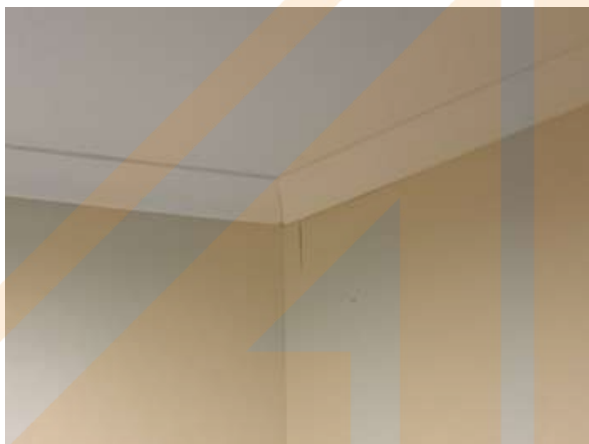




Front reception room



Wardrobe master bedroom



Minor Defect 2.15

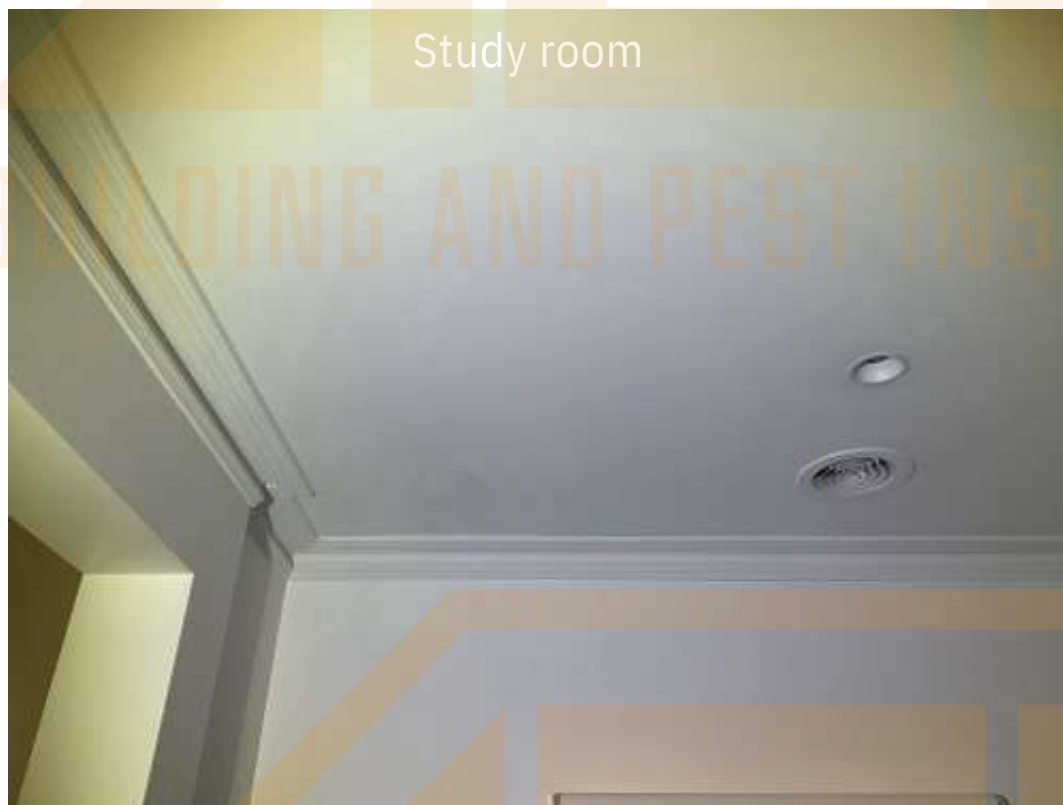
Location:

Site Reference Plaster Ceiling - Water Damage / Water Staining During the inspection of the

Finding:

property, it was observed that there is water damage to the ceiling lining in study room. This is usually an indication of excessive moisture present in the roof void, or coming from a leak in the roof covering, however at the time of the inspection there were no high moisture readings noted.

You will need to monitor this when there is heavy rainfall. If the problem still persists then It is recommended to appoint a roofing plumber or if the water problem is internally the appropriate trades person as soon as possible to identify the leak and carry out necessary rectification works to restrict further water damage. Once the leak is repaired, it is advisable to consult with relevant tradespeople such as plasterers and painters. Depending on the extent of the damage, rectification works may involve replacing the ceiling lining or minor repainting. In cases where water staining is old and inactive, affected building materials may be repaired or replaced at the discretion of the client.



Minor Defect 2.16

Location:

Tiled Areas

Finding:

Tiles - Drummy (Loose or Compromised)

During the inspection of the property, it was observed that there are drummy tiled areas present.

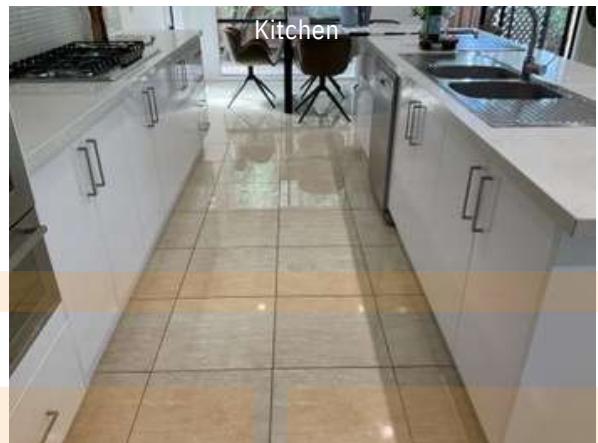
The term "drummy" refers to tiles that have become detached from their fixing or have hollow areas underneath the tile indicating a lack of consistent cement or glue beneath the entire tile and/or water/moisture under the tile.

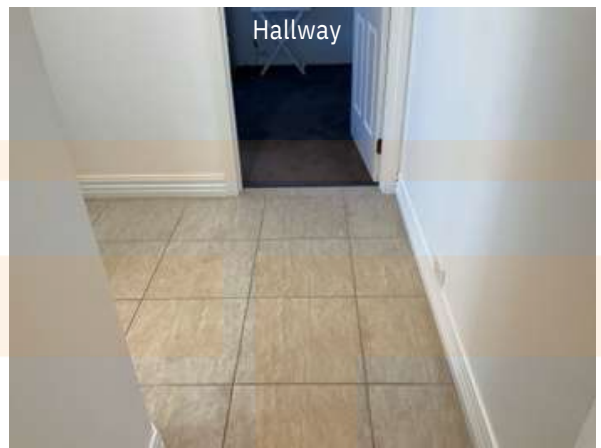
Drummy tiled areas can be a result of poor workmanship, damaged tile grout or sealant, cracked tiles allowing water/moisture to penetrate and/or building movement.

Specialist trades are available for these types of services. A registered builder may be required to undertake works if damage is extensive or if secondary building defects have resulted. Otherwise, it is advised that a tiling contractor be appointed to perform works as necessary, related to new tile grout and sealant to the junctions, Including any cracked tiles if applicable. However, prior to fixing drummy tiles, the cause or source of the problem in some cases needs to be resolved first and this simply needs to be determined.

Any exposure to moisture can cause tiled areas to become drummy and/or cracked over a prolonged period of time.

ALL AREAS should be checked carefully for this defect and attached are a few PHOTO EXAMPLES as a GUIDE.





Minor Defect 2.17

Location:

Tiled Areas

Finding:

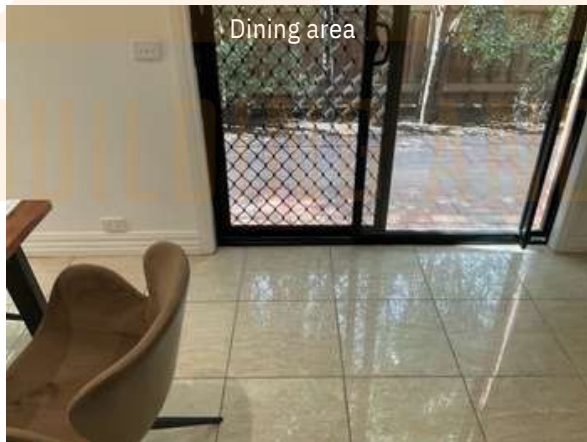
Tiles - Cracked or damaged

Cracking was evident to the tiling at the time of inspection. While the cracking appears to be minor, these areas are frequently exposed to water, allowing potential for water penetration into adjoining sections of walls or flooring.

Shower or wet areas in Particular can create various secondary building defects caused by water damages, from MINOR DEFECTS TO MAJOR STRUCTURAL DEFECTS that can become very costly and unsafe at times due to excessive water and moisture getting through the tiles and in this particular case where the tiles have become Cracked around the bath immediate action required.

A registered builder, bathroom specialist and/or tiling contractor should be appointed to ensure that no further water damage occurs.

The re-application of silicone and grouting throughout the tile work is advised only at a time when the substructure and tiles are repaired and in sound structure



Additional comments

* NVQ Level 4 - Residential Building Inspector

- * CPPUPM3008 - Termite/timber pest inspection
- * CPPUPM3010 - Termite / control of timber pests
- * 0005749931 01 - OHS - prepare to work safely in the

construction industry

For your information

For your information 3.01

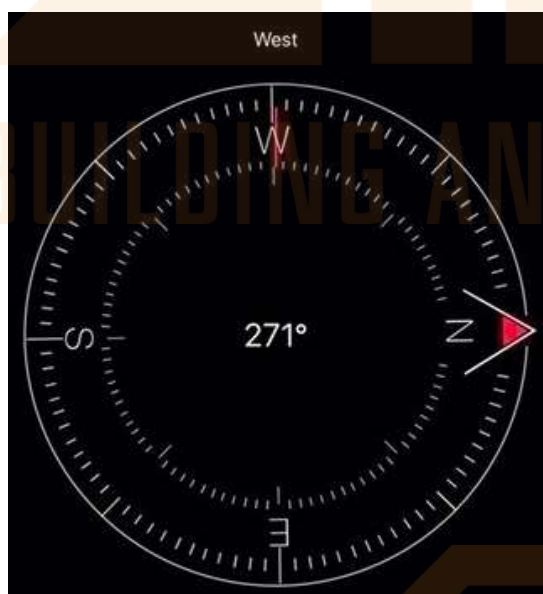
Location:

Site Reference

Finding:

General Site Photos

Reference Photo's.





For your information 3.02

Location:

Roof Space

Finding:

Roof Void - Obstructions And Limitations.

At the time of the inspection, the visible roof space area's appeared to be in good condition for its type and age with no evidence of immediate structural types concerns.

Insulation can impeded full inspection of a roof space.

Access to the roof space was limited in area's.

These photographs are an indication of the obstructions and limitations, such as timber rafters and associated timbers in a roof space also limiting accessibility.

These obstructions can hide an array of defects and it is impossible to rule undetectable issues or damages.





For your information 3.03

Location:

Perimeter Drainage Drainage - Perimeter Building Ground Fall Defective. Inappropriate drainage to

Finding:

the perimeter can lead to water accumulation to the building foundations. This excessive water pooling around the foundations can result in various damages, including foundation movement, rising dampness on the walls, and potential dampness to the subfloor area or concrete slab.

Furthermore, the pooling of water near the foundations can lead to internal damages such as wood rot and other secondary issues related to foundation movement. There can be various other concerning damages related to inappropriate drainage.

It is recommended that remedial action be taken to address this issue. The appropriate course of action would be to ensure that the perimeter of the building is properly graded to allow water to flow away from the structure and/or also implementing suitable drainage systems near the foundations to prevent water accumulation.

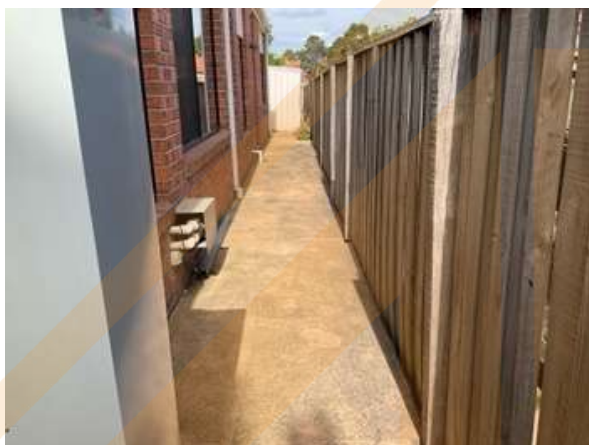
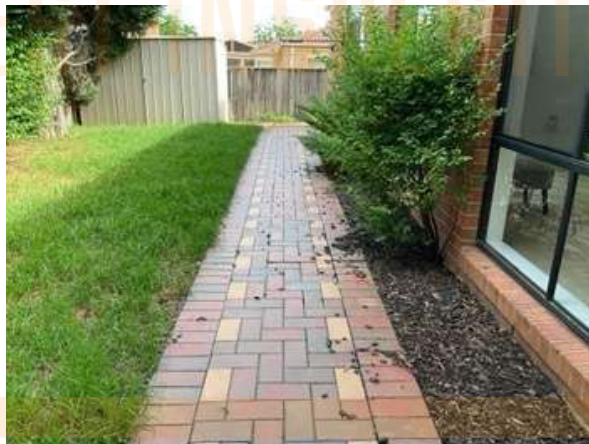
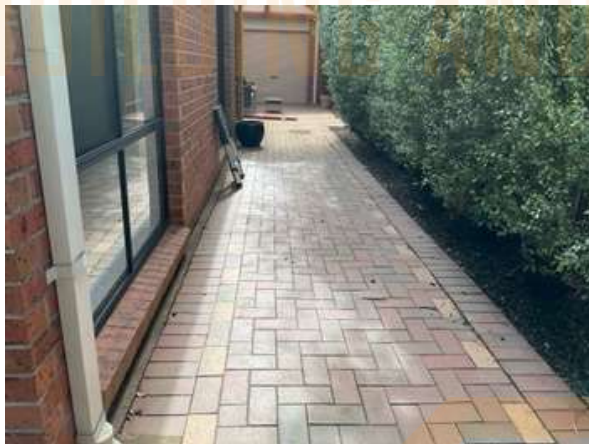
By addressing these drainage concerns, the risk of further damages and associated issues can be significantly reduced.

There are many types of drainage solutions, such as installing perimeter concrete, simply falling the land away from the building, introducing drainage systems and/or also including underground aggie pipe systems.

I highly recommend you engage a registered plumber, specific landscaper who has the knowledge of drainage and/or a registered builder to install appropriate drainage solutions.



Ideal Water Runoff



For your information 3.04

Location:

Garden - Perimeter Area's

Finding:

Trees - Close To Buildings

It is very important to note that although these trees in this report do not appear to be causing any major structural movement to the property that we can detect at the moment, there is a high potential risk that major structural movement may appear to the buildings foundations in the future.

It is also very important to understand that tree roots have become quite developed in the soil and it is not as simple as removing/cutting the tree stumps down to ground level and poisoning them, due to the fact that the tree stump and in particular the tree roots will rot underground and there may create the chance of large voids in the soil causing the ground to become unstable and collapse.

Trees and other vegetation can have a significant local effect on drying of soils. Over a number of years, especially during drought conditions, adjacent trees and vegetation may draw excessive moisture from the soils. The opposite may also occur, where swelling of the soil results when the trees decline or are removed.

As the cumulative moisture deficient is reversed, the surface level around the tree (and adjoining subfloor or concrete slab) will rise and expand laterally. This is often damaging to buildings unless the foundations have been strengthened or designed to cope with the effect.

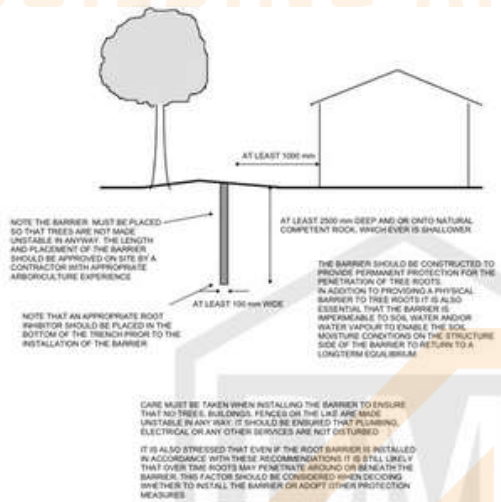
The distance over which trees and large shrubs can have a drying influence on the surrounding soil is very difficult to determine accurately as it is a function of a combination of numerous interacting factors. Some of these factors include: the amount of transpiration (water take up) of the tree which is usually proportional to tree height and canopy size but also varies species to species. The local climate zone is also an important factor that affects the interaction between trees and buildings. Surrounding site conditions such as pavements, service trenches, hard soils and plumbing leaks can also affect the potential drying influence of trees. This is by no means an exhaustive list as there are many other factors that can affect the drying influence of trees and large shrubs, some of which are beyond our current understanding.

Due to the complexity involved in assessing the distance over which trees are likely to have a drying influence on the surrounding soils AS 2870-2011 has provided a simplified method of assessing the likely drying distance of trees. This method simply relates the drying distance as a proportion of the mature height of the tree. This Standard and this report recognizes that this is a simplistic approach and acknowledges that there are other factors that affect the distance, however the mature height method has been used successfully in the past around different areas of Australia.

I highly recommend that you engage a geotechnical engineer who will then guide you to an arborist and possibly a registered builder for further information on this matter.



DETAIL OF ROOT/MOISTURE BARRIER
SKETCH ONLY NOT TO SCALE



For your information 3.05

Location:

Site Reference

Finding:

Safety Switch Testing Procedures - Complied.

Safety Switch testing to trip the safety switch at less then 30 milli amps was performed and passed the exceptance level.

Polarity Testing

What is electrical polarity?

Polarity in electrical terms refers to the Positive or Negative conductors within a d.c. circuit, or to the Line and Neutral conductor within an a.c. circuit.

What is a polarity test?

Since a.c. installations consist of a Live and a Neutral conductor, it is extremely important that these conductors are connected the right way around, within all electrical accessories such as wall sockets or plugs. To ensure this, polarity test is done at each relevant point.

The test instrument should indicate full voltage (230V) between Line-Neutral and Line-Earth conductors. No voltage should be detected between Neutral-Earth.

Note – Whilst I performed safety switch testing with my tester and manually tested the trip safety switch button, further electrical testing to the entire installation is recommended at the owners discretion.



For your information 3.06

Location:

Site Reference

Finding:

Gas & Electrical Appliances - Inspection & Servicing

We highly recommend that the gas and electrical appliances be regularly serviced and maintained in good order.

While we do note and comment on visually apparent defects, it is important to comply with legislation that requires licensed plumbers to check and document compliance for plumbing requirements to ensure proper functioning.

To ensure safety, we strongly suggest that a registered plumber inspects all gas appliances and the gas installation for any defective workmanship or potential carbon monoxide or gas leaks.

Plumbing inspections are not within the scope of the building inspection and must be conducted by a Licensed and Registered Tradesperson. It is highly recommended that the client arranges for a licensed gas plumber to check the appliances and plumbing to ensure they are working safely and efficiently. A registered plumber with the necessary instrumentation can detect gas leaks that may not be apparent otherwise. The plumber will inspect all appliances, including ovens, heaters, hot water services, and similar, as well as the plumbing installation.

Similarly, any electrical appliances and services should be maintained and serviced by a qualified electrician or appropriate technician or manufacturer service agent.

It is important to note that some properties may have both gas and electrical appliances, while others may only have one or the other.



For your information 3.07

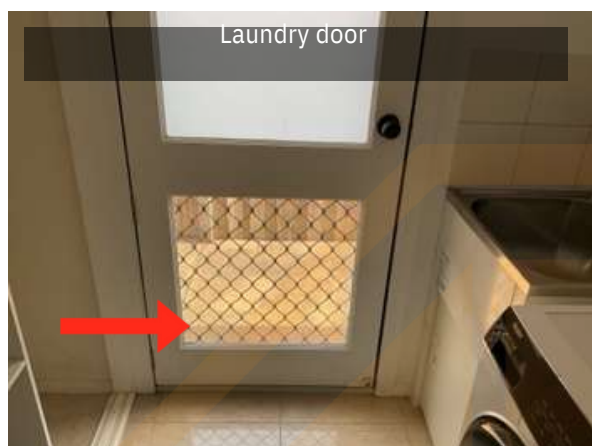
Location:

Windows - Internal Areas

Finding:

Safety door glass

The inspection of the internal areas revealed a safety concern regarding the laundry door. The glass pane in the lower section of the door is located below 600 mm from the floor, and it does not appear to be safety glass. This presents a potential risk of injury in case of accidental impact, as non-safety glass may shatter more easily. To mitigate this risk, it is recommended that the existing glass be replaced with safety glass, which complies with the relevant safety standards. This would enhance the safety for occupants, particularly in environments with children or pets.



For your information 3.08

Location:

Finding:

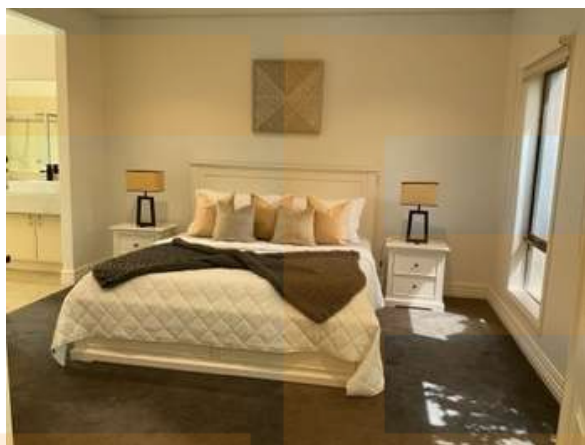
Site Reference Obstructions and Limitations During the inspection of this property, we encountered obstructions and limitations that hindered a thorough examination.

These photographs provide a glimpse of the obstacles we faced, but it is important to note that there may be areas not captured due to their difficulty or inaccessibility. These obstructions can potentially conceal a range of defects, including minor and major issues, safety hazards, termite activity, and environments conducive to termite infestation, among others.

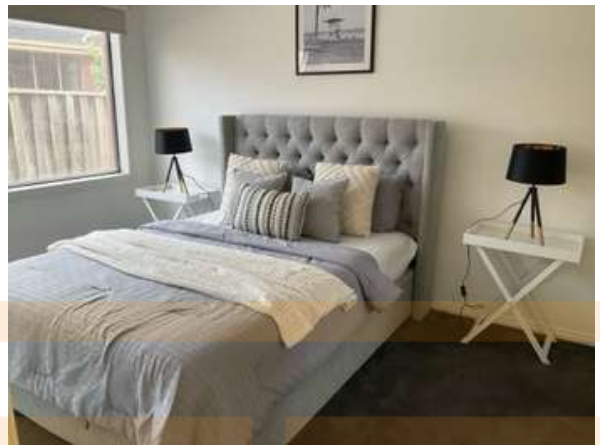
We acknowledge that obstructions and limitations are common in our industry, and we strive to work within these constraints.

At your discretion, when a property has residents, furniture, stored items and various other items on-site we recommend a re-inspection once the property is vacant and/or emptied, allowing for a more comprehensive assessment without furniture, belongings, or storage obstructing our view. This will enable us to possibly provide you with a more accurate and detailed report.

We encourage you to review the report thoroughly and reach out to us for any necessary discussions or clarifications.











PEST INSPECTION

For your information 3.09

Location:

Site Reference

Finding:

2 x Smokes Detectors - Recommend Battery Replacement.

Upon moving into a property, it is highly recommended that the battery of a smoke detector be replaced. By replacing the battery of a smoke detector you will now have a reference point as to when the new battery was installed.

A Smoke detector battery should be replaced within 12 month intervals.

It is highly recommended that the replacement date of a battery be kept in a log book.

Pre-purchase building inspections do not require testing of smoke detectors.

It is easy to make the assumption that testing a smoke detector is simply by pressing the test button, and yes this is a test, but it is not a complete test for a smoke detector.

There are other forms of testing in order for a complete assessment of a smoke detector, and it is highly recommended to engage a qualified electrician to test the complete operation of a smoke detector.

ADDITIONAL INFORMATION :-

Whilst this information is for new building codes and standards, it is highly recommended to follow this information for any property with occupants.

In a Class 1a building, smoke alarms must be located in—

(a) Any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building.
and

(b) Each other storey not containing bedrooms.

BUILDING AND PEST INSPECTION



For your information 3.10

Location: Seperate Toilet

Finding: Toilet leak

In the separate toilet, there is a noticeable leak originating from the pipe connection when the toilet is flushed. This leak may lead to water pooling on the floor, posing a risk of water damage to the flooring and potential mold growth if left unaddressed. To rectify this issue, it is recommended to have a licensed plumber inspect the toilet's plumbing connections and replace or repair any faulty seals or components. Ensuring a tight seal and proper functionality will help prevent future leaks and maintain the integrity of the flooring.



For your information 3.11

Location:

Site Reference

Finding:

Paint & Plaster Condition - Overall

Reporting on visual cosmetic damages to the building materials, paint finishes, plaster and timber surfaces is not in the scope of a pre-purchase report, however, I would like to provide this extra information for your consideration.

There are typical type damages to the plaster work and timber work. The various damages are generally cosmetic.

The paint and plaster surface damages remain consistent and typical with general wear and tear.

It was observed that the property has undergone recent painting and paint repairs to most or all areas.

It is unknown how severe hidden plaster and/or timber cracks may have been before the plaster & paint work was performed. Generally time brings out cracking with ongoing movement to the property.

Whilst our inspections are as careful and methodical as we can be, it is sometimes impossible to know how serious some of the damages / cracking were prior to the painting and patching repairs, so there is always the possibility that the plaster or timber cracks in part or full will come back.





For your information 3.12

Location:

Finding:

Ensuite Water pressure During the inspection, it was noted that the wash hand basin in the ensuite exhibits low water pressure. This issue can cause inconvenience to users and might suggest a problem with the plumbing system, such as a partially closed valve, sediment buildup in the pipes, or an issue with the faucet itself. To address this, it is recommended that a qualified plumber be engaged to investigate the cause of the low pressure. Potential remedial actions could include cleaning or replacing the aerator, checking the water pressure regulator, or ensuring there are no obstructions or leaks in the supply lines. Regular maintenance will help ensure optimal water flow and prevent any further complications.



For your information 3.13

Location:

Added Structure

Finding:

Additional Structure - Suspected To Be Built Without A Permit

I highly recommend that you further investigate this home as the Verandah may or may not have the correct permits / paperwork through the council, architects, engineers, etc regardless if the works have been done to a quality tradesmens like manner or not.

This information is outside the scope of my works to give advice and/or comment, however I would like to recommend that you contact your legal representative, whether it is a lawyer or conveyancer as they will be able to advise you further on this matter as they are the experts to assist and give you further information on this topic.

The Victorian building authority states that a permit is required for the following. -

- A permit is required for any closed roofed structure such as a steel or acrylic roof pergola.
- Footings, and specifically their depth, construction and ability to cope with the load of the deck or pergola roof.
- Any structures attached to the house.
- Structures located high up where there may be a need for a fence or rail to prevent falling injuries.

People incorrectly state that if a structure has been built for seven years without a permit then a permit is no longer required. This is not the case, wheather it has been built for two years or ten years, a permit may still be required.

The possibility of the Shire investigating a structure built without a permit after seven years is minimal. Neighbour disputes are the most common way for councils to be alerted to structures built without a permit.

In the event that the local council does become aware of this structure being built without a permit the responsibility falls on the current owner of the property. The council will then offer 2 alternatives 1/ Obtain the necessary permit for the structure or 2/ Remove the structure. (Fines can also be issued)

TITLE INSURANCE —

Please note that my report does not cover substandard and/or any structures that may not have been built through the appropriate processes and/or may not have the appropriate building permits.

I have provided this information as a guide, but I highly recommend you contact your solicitor or conveyancer assisting with the purchase of this property, as they are the experts with the appropriate legal advice.

How title insurance works -

Once you have settled on your property, you may become exposed to risks on the title or building structures, however, and the title search will not necessarily reveal that something is amiss.

Unfortunately for a homeowner, any number of issues could potentially rear their ugly heads sometime down the track, even years later. If, for example, the previous owner or earlier owners added a carport, pergola, decking, certain sheds or other significant structures that didn't meet council building standards and do not have a building permit, you could suddenly find yourself with a building notice for thousands of dollars to make something compliant for a building permit to be obtained or to demolish the structure.



Conclusion

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

In the opinion of this Consultant:

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Less than typical major defects

The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

Building consultant's summary



◆ OBLIGATIONS.

Nationwide building and pest inspections is not an advocate for the client and all statements and information within this report are completely from an objective and unbiased professional opinion.

TITLE INSURANCE —

Please note that my report does not cover substandard and/or any structures that may not have been built through the appropriate processes and/or may not have the appropriate building permits. I have provided this information as a guide, but I highly recommend you contact your solicitor or conveyancer assisting with the purchase of this property, as they are the experts with the appropriate legal advice.

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◆ BUILDING INFORMATION

Note : The Australian Standards for

prepurchase building inspections (AS 4349.1-2007) does not require our inspections to cover items such as footings belowground, concrete slabs belowground, concealed plumbing, appliances such as air-conditioners, ovens and the like, carpet, quality of paint and typical paint defects, fixtures and fittings, mirrors and all other typical minor defects to the interior of the home and the exterior of the home including landscaping.

In saying the above, we do go over much more than the minimum Australian Standards in our inspections & reports to provide information on certain items above or not listed for a better understanding of the property.

Minor defects such as paint quality, plaster quality, damaged or worn items / materials can be repaired at your discretion, however minor defects such as caulking, silicon and water related damage should be repaired at your very earliest convenience to prevent and/or stop any damages or further damages. (it's important to know that if defect is categorised as a minor defect, that does not mean it is not of great importance.)

◆ PROCEDURE FOR ALL REPAIRS, IN THIS REPORT

Before the defects in this report can be repaired, it is first important to discover and repair the cause or source of the defects, otherwise the defects will re-occur and cause further damages.
(Note the cause or source of the defect items, is the actual problem that is causing the damage)



◆ OVERALL GENERAL CONDITION

It has come to my attention that the property is approximately 15 years old, and I have assessed its condition based on this information, as outlined below. Please note that if the property's age varies by a couple of years, the following statements regarding its condition would remain the same or very similar.

Overall Property Internally is in Reasonable Condition, for the properties type and age.

Note important repairs as detailed in this report.

Overall Property Externally is in Fair Condition, for the properties type and age.

Note important repairs as detailed in this report.

Note important repairs as detailed in this report.

♦ **IMPORTANT** - Please do not underestimate items listed in this report under 'For Your Information' or 'Minor Defect.' Items that may appear minor under Australian Standards can develop into major defects. The intent is to address minor defects or even 'For Your Information' items to prevent potential or ongoing building damage. Do not focus only on major defects or safety hazards. Please ensure you understand the 'For Your Information' and 'Minor Defect' items in this report.

Of course, certain items with wear and tear or even substandard work at a handyman level may be repaired at your discretion. However, it is important to distinguish between a cosmetic or aesthetic item and one that requires attention.

If you are unsure about anything, do not hesitate to contact the Nationwide Building and Pest Inspections, inspector that is responsible for this report.

♦

♦ It would be prudent to check the plumbing services around and beneath the property. Ideally, these checks should include camera detection, static testing and/or flood testing. Any leaks or insufficiencies should be rectified immediately. It should also be ensured that the plumbing services around and beneath this building are maintained in good working order over the life of the building. The consequences of underground plumbing leaking can create significant soil and building movement.

Engaging a company that perform CCTV Drain Camera Inspections to stormwater and sewage pipes to identify any blocked and/or damaged underground pipes. These companies provide photos and footage to identify all areas of concern.

♦

♦ **TERMITE / TIMBER PEST INFORMATION**

Termite / Timber pest damage **WAS FOUND** on the property as detailed within this report.

The property is a **HIGH** risk for termites as the environments to the property are very conducive with many susceptible areas as noted in this report.

It is impossible to identify all areas for termites, timber pest and timber pest damage, however keeping the garden clean, dry and taking away all mulch, mulching, bark and heavy and over grown areas will certainly reduce the risk and help identify termite evidence.

Please read the report carefully and Maintenance to all susceptible and conducive areas is a **MUST** to minimise the risk of termite and timber pest existence and timber damage.

As there appears to be **NO** termite timber pest control system, the client is **HIGHLY RECOMMEND** gaining further advice from a licensed pest controller as to the costs and procedures involved with application of a termite management system and/or eradication treatment which should be treated as **HIGH PRIORITY**.

Summary

SUMMARY INFORMATION: The summary below is used to give a brief overview of observations made in each inspection area. The items listed in the summary are noted in detail under the applicable sub headings within the body of the report. The summary is NEVER to be relied upon as a comprehensive report and the client MUST read the entire report and not rely solely on this summary. If there is a discrepancy between the information provided in this summary and that contained within the body of the Report, the information in the body of the Report shall override this summary. (See definitions & information below the summary to help understand the report)

Evidence of active (live) termites

Not Found

Evidence of termite activity (including workings) and/or damage

Found

Evidence of a possible previous termite management program

Not Found

Evidence of chemical delignification damage Evidence of fungal

Not Found

decay activity and/or damage Evidence of wood borer activity

Not Found

and/or damage Evidence of conditions conducive to timber pest

Found

attack Next inspection to help detect a future termite attack is recommended in

Undetected timber pest defect risk assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered:

HIGH

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack.

Significant Items

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this Condition Report, monitoring and normal maintenance must be carried out.

Timber pest attack

ACTIVE (LIVE) TERMITES

Important Note. As a delay may exist between the time of an attack and the appearance of telltale signs associated with an attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

No evidence was found

TERMITE WORKINGS AND/OR DAMAGE

BUILDING AND PEST INSPECTION

BUILDING AND PEST INSPECTION

Timber pest attack 4.01

Location:

Site Reference Termite - Damage Identified. It is suspected that termite activity is occurring or has

Finding:

occurred as there is evidence of termite damage to the tree stump and to the sleeper in the rear garden, but the termite damage would certainly not be limited to these areas.

It is very difficult to determine termite activity and/or damage to all areas of the garden in particular.

Some may argue that termite damage has not been found on the building itself and has only been found in the garden areas, so the concern is not needed to be taken so serious, however, this is a very inaccurate statement as under pre-purchase standards, termite damage to the building itself or in the garden areas is the same risk factor. Remember we may only have identified termite damage in the garden, but that does not mean that termite activity is not in other areas as termites are and/or can be subterranean.

A termite management system with a property such high risk and with termite damage found must have a termite management system installed.

If left unattended, this damage creates an unsafe environments and may likely to lead to the need for major structural works, due to the destructive nature of termites.

If Termite activity remains on the property damages are likely to continue and cause further damage to adjoining building materials.

I can not stress how important it is to reduce and keep clean the trees, vegetation, timber and/or all other debri and all other items not only around the home but to the entire property as a matter of urgency to reduce the very high risk for termite activity and to keep the environment as low risk as possible for a conducive and susceptible area or areas for termites and timber pests.

The application of a post-construction chemical termite barrier or other termite treatments is ALWAYS highly recommended for all properties, particularly if live termite activity or termite damage has been found on the site. Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

The client IS HIGHLY RECOMMEND gaining further advice from a licensed pest controller as to the costs and procedures involved with application of a termite management system and/or eradication, which should be treated as HIGH PRIORITY.

Please read the report carefully and Maintenance to all susceptible and conducive areas is a MUST to minimise the risk of termite and timber pest existence and timber damage.

Whilst we have identified and added photos in areas detected with termite damage, please understand that the possibility of other areas within the property having potential termite damage is high.



CHEMICAL DELIGNIFICATION

No evidence was found

FUNGAL DECAY

No evidence was found

WOOD BORERS

No evidence was found

Conditions conducive to timber pest attack

LACK OF ADEQUATE SUBFLOOR VENTILATION

No evidence was found

THE PRESENCE OF EXCESSIVE MOISTURE

Conditions conducive to timber pest attack 4.02

Location: Perimeter Of Building - Exterior

Finding: HWS Overflow - Not Connected

The Hot Water System (HWS) overflow was found to be disconnected from storm water draining and is creating excessive moisture in the surrounding area.

These damp conditions can lead to secondary defects such as rot, rust or corrosion of associated building elements, the formation of fungal decay, or even the creation of potential slip hazards. When coupled with poor site drainage, pooling of water may also attract termite activity to this area.

It is highly recommended that a licensed plumber be appointed to connect the HWS overflow in order to prevent such an environment from being created. These minor works should be carried out as soon as possible.



Conditions conducive to timber pest attack 4.03

Location: Garden - Perimeter Area's

Finding: Garden Beds - Conditions Conducive to Termites

Garden beds were found to be evident in areas of garden areas.

These garden beds can include untreated timber, bark, excessive old vegetation and with a combination of moisture from watering hosing can make conditions very conducive to termite activity and termite ingress.

It is always important to keep the garden beds as clean as possible and take out excess old bark from the trees, leaves and keep bark mulch to a minimum or better introduce rocks or some item that does not create an conducive environment for termites and hold excess moisture.

Photos added are only samples of the garden.



BRIDGING OR BREACHING OF TERMITE MANAGEMENT SYSTEMS AND INSPECTION ZONES

Conditions conducive to timber pest attack 4.04

Location: Perimeter Of Building - Exterior

Finding: Weep Holes or Ventilation Areas - Bridging Or Breaching Of Termite Barriers Defective.

Bridging is the spanning of a termite barrier or inspection zone so that subterranean termites are provided with passage over or around that barrier.

Weep Holes or Ventilation Areas to the exterior building of the property are designed to allow condensation that may build up between the brickwork or other and subsequent timber framework to drain from within the wall hence preventing any deterioration of the timber building elements.

Where Weep Holes or Ventilation Areas are covered by external ground levels such as paving or garden beds concealed entry or limited viewable entry is available for termites from these grounds into the building or external wall materials.

Additionally build-up of moisture is likely to occur if Weep Holes or Ventilation Areas are covered further attracting termite activity to these areas.

It is highly recommended that Weep Holes or Ventilation Areas are left exposed 150mm from the bottom of the Weep Holes or Ventilation Areas to the ground level and 75mm from the bottom of the Weep Holes or Ventilation Areas to the top off concrete paving in all areas throughout the external property.

Therefore any termite activity leading into Weep Holes or Ventilation Areas will become easily detectable during frequent pest inspections.

I have only taken example photos of the weep holes or ventilation holes to the perimeter of the building and the entire building must be inspected and remediated.



UNTREATED OR NON-DURABLE TIMBER USED IN A HAZARDOUS ENVIRONMENT

Conditions conducive to timber pest attack 4.05

Location:

Garden - Perimeter Area's

Finding:

Timbers - In ground contact

Any timbers in direct ground contact provide opportunity for concealed termite entry and are likely to be subject to premature rot and decay as the soil retains moisture or damp conditions against the timbers.

When met with excessive moisture timber begins to decay and develop wood rot. Any timbers that are in direct contact with external grounds, sub-floor area's, sheds or similar especially if left untreated or non-durable also provide ingress for subterranean termites into that particular element.

Remove untreated timber that is in direct contact with grounds. Consider replacement with more durable materials i.e. treated timber or non timber elements.

Frequent pest inspections are advised to readily identify any termite activity in these areas.

Photos added are only samples of the garden.



OTHER CONDITIONS CONDUCTIVE TO TIMBER PEST ATTACK

Conditions conducive to timber pest attack 4.06

Location:

Site Reference

Finding:

Timber Pest - Damage Identified.

It is suspected that timber pest activity is occurring or has occurred as there is evidence of timber damage to the fencing in the exterior garden, but the timber pest may not be limited to these areas.

The client IS HIGHLY RECOMMEND gaining further advice from a licensed pest controller as to the costs and procedures involved with application of a management system and/or eradication.

◆ It is recommended that obtaining such advice be of HIGH PRIORITY.



Serious Safety Hazards

No evidence of Serious Safety Hazards were found

For your information

SUBTERRANEAN TERMITE MANAGEMENT PROPOSAL

For your information 4.07

Location:

Site Reference

Finding:

NO Termite Management System Appears To Be Protecting The Property

At the time of inspection, it appeared as though no termite management system has been installed, with no evidence to suggest preventative works taking place.

The client may consider gaining further advice from a pest controller as to the costs and procedures involved with various termite management applications, as there are numerous termite treatments on the market and each property may require a different management system. It is important to gain further professional advice on the termite management system from companies that can provide all the various treatments on the market because if you gain professional advice from a company who only provides one specific system, you may be limiting your best treatment for the property.

◆ **IMPORTANT**— As we have identified termite activity and/or damage within the property area, whether it is to the building itself, or the surrounding property areas, this is further reason to engage further professional advice with a licensed Company to provide the appropriate treatment as a HIGH PRIORITY.

The application of a post-construction chemical termite barrier and/or baiting stations or the like is highly recommended for all properties, particularly if :-

Live termite activity found.

Building or garden damage/activity to various timbers, tree stumps, etc has been found on the site previously and/or within this report.

When the perimeter garden is very conducive with high moisture areas in timbers and soil areas.

Over grown trees and plantation.

Yes concrete slab buildings as well with any of the above concerns.

Neighbouring properties, high risk environments for termites.

Such barriers are highly effective in preventing termite attack on any timber building elements throughout the property.

A durable notice should be on the property building to indicate current termite barriers.

A durable notice must be permanently fixed to the building in a prominent location, such as in a meter box, switchboard or the like, indicating—

the termite management system used; and

(a) the date of installation of the system; and

(b) where a chemical is used, its life expectancy as listed on the appropriate authority's register label; and

(c) the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity



BUILDING AND PEST INSPECTION

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BUILDING AND PEST INSPECTION

For your information 4.08

Location:

Site Reference Identification Procedures - Moisture Readings & Timber Risk Timber Damage

Finding:

Detected, related to timber pest.

Wood rot, known as fungal decay is not related to this statement.

All areas accessible of the dwelling are checked with particular attention paid to the wet areas which were closely assessed to check for excessive levels of moisture and temperature anomalies.

In attempt to identify the presence of hidden timber pest activity , a variety of techniques are adopted to identify irregularities including, a moisture meter for digital moisture meter assessments, thermal imaging where we feel appropriate to be performed, sounding of timber elements using a device called a " donga" for comparative analysis of various timbers, visual assessments of materials affected by moisture or signs of deformity, trails and bridging constructed by termites , irregular and regular shaped holes in timber elements indicating pest destruction in general overall visual inspection by an experienced inspector.

◆ Identification Procedures to find High Moisture Readings —

The identification procedures to identify above average hidden moisture readings was within the acceptable ranges of 0% to 20%.

Note - There may be other areas of high risk and conducive environments for termites noted in other areas of this report.

◆ It is also important to note that the —

the garden and timbers in gardens and soils creates conducive environments for termites.

generally other hidden type area's around a property, obtaining moisture to create conducive environments should be altered, cleaned or other methods simply to keep the property as less inviting or conducive to termites as possible .

there are various timber's with high moisture readings and/or decay, know as wood rot.

Wood rot, also known as Fungal Decay, which occurs when timbers and other cellulose building materials are exposed to damp conditions on an ongoing basis.

drainage concerns, which hold above average moisture and water pooling to the surrounding property.

#The above are various types of conditions that create conducive environments for termites which are great examples and real risk areas, however these areas are only some areas to provide you guidance.

◆ TERMITE/ TIMBER PEST DETECTED - At the time of the inspection there was evidence of

(timber pest) damage and/or activity to the visually accessible timber, that we believe has been caused by termites and/or timber pest.

As all areas are not able to be inspected due obstructions and limitations, we therefore can not rule out the possibility of concealed timber pest activity.



PREVIOUS TERMITE MANAGEMENT PROGRAM

No evidence was found

Conclusion

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

The following Timber Pest remediation actions are recommended:

1. Yes - treatment of Timber Pest Attack is required.
2. In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is recommended.
3. Yes - removal of Conditions Conducive to Timber Pest Attack is necessary.
4. Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended in

Risk management options

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical management system. However, AS 3660 stresses that subterranean termites can bridge or breach management systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

Signature of consultant -



Definitions to help you better understand this report

----- PROPERTY INSPECTION REPORT ----- “Client” The person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained). “Building Consultant” A person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 ‘Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings’. The consultant must also meet any Government licensing requirement, where applicable. “Building and Site” The inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries. “Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant’s unobstructed line of sight and within arm’s length. “Structure” The loadbearing part of the building, comprising the Primary Elements. “Primary Elements” Those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term ‘Primary Elements’ also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to- floor access such as stairways; and the structural flooring of the building such as floorboards. “Structural Damage” A significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories: (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs. (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s). (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements. (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites. “Conditions Conducive to Structural Damage” Noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage. “Secondary Elements” Those parts of the building not providing loadbearing capacity to the Structure, or those non- essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors. “Finishing Elements” The fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term ‘Finishing Elements’ does not include furniture or soft floor coverings such as carpet and

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BUILDING AND PEST INSPECTION

tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino. "Major Defect" A defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property. "Minor Defect" A defect other than a Major Defect. "Serious Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed. "Tests" Where appropriate the carrying out of tests using the following procedures and instruments: (a) Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed. (b) Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster."

----- TIMBER PEST INSPECTION REPORT ----- "Timber Pest Attack" Timber Pest Activity and/or Timber Pest Damage. "Timber Pest Activity" Telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection. "Timber Pest Damage" Noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests. "Major Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed. "Conditions Conducive to Timber Pest Attack" Noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests. "Readily Accessible Areas" Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes: (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide). "Client" The person or persons for whom the Timber Pest Report was carried out or their Principal (i.e. the person or persons for whom the report was being obtained). "Timber Pest Detection Consultant" A person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable. "Building and Site" The main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s). "Timber Pests" One or more of the following wood destroying agents which attack timber in service and affect its

“Timber Pests” One or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Chemical Delignification - the breakdown of timber through chemical action
- (b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (c) Wood Borers - wood destroying insects belonging to the order ‘Coleoptera’ which commonly attack seasoned timber.

- (d) Termites - wood destroying insects belonging to the order ‘Isoptera’ which commonly attack seasoned timber.

“Tests” Additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

“Instrument Testing” Where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- (b) stethoscope - an instrument used to hear sounds made by termites within building elements;
- (a) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) sounding - a technique where timber is tapped with a solid object.

“Subterranean Termite Management Proposal” A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

Terms on which this report was prepared

----- PROPERTY INSPECTION REPORT ----- Service 1. This agreement is between the building consultant (“Inspector”) and you (“Client”). You have requested the Inspector to carry out an inspection of your property for the purpose of preparing a Standard Property Report (“Report”) to you outlining their findings and recommendation from the inspection. 2. The purpose of the inspection is to provide the Client with an overview of the Inspector’s findings at the time of the inspection and advice as to the nature and extent of their findings. 3. This Report has been prepared at the direction of and exclusively for the Client. Details contained within this Report are tailored to the Pre-Inspection Agreement between the Inspector and the Client at the time of the Inspection and no other party can rely on the Report nor is the Report intended for any other party. Scope of the Report 4. This Report is limited to the findings of the of the Inspector at the time of the inspection and any condition of the property which is not within the scope as set out herein or which occurs after the inspection is expressly excluded from this Report. 5. This Report expressly addresses only the following discernible to the Inspector at the time of inspection: (a) Major Defects in the condition of Primary Elements including Structural Damage and Conditions Conducive to Structural Damage; (b) any Major Defect in the condition of Secondary Elements and Finishing Elements and collective (but not individual) Minor Defects; and (c) any Serious Safety Hazard. 6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the

6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the building or site and given the state of property at the time of the Inspection.

7. This Report does not include the inspection and assessment of items or matters that are beyond the Inspectors direct expertise.

Inspection Limitations

8. The Inspection is limited to Readily Accessible Areas of the Building & Site based on the Inspector's visual examination of surface work (excluding furniture and stored items) and the carrying out of Tests.

9. Where the Inspection is carried out on a strata or company title property, the Inspection is limited to the interior and the immediate exterior of the residence inspected. The Inspection does not extend to common property areas and the Inspector will not inspect common property areas.

10. The Inspector's findings do not extend to matters where the Inspector was restricted or prevented from assessing the building or site as a result of:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint;
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out; and
- (c) areas of the building or site that were obstructed at the time of the inspection or not Readily Accessible Areas of the Building Site. An obstruction may include a condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

Exclusions

11. This Report does not consider or deal with the following:

- (a) any individual Minor Defect;
- (b) solving or providing costs for any rectification or repair work;
- (c) the structural design or adequacy of any element of construction;
- (d) detection of wood destroying insects such as termites and wood borers;
- (e) the operation of fireplaces and chimneys;
- (f) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (g) lighting or energy efficiency;
- (h) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (i) any appliances or white goods including dishwashers, refrigerators, ovens, stoves and ducted vacuum systems;
- (j) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (k) a review of environmental or health or biological risks such as toxic mould;
- (l) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (m) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (n) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

12. Should the Client seek information from the Inspector related to one of exclusions above, that information is to be provided by way of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. Additional information requested by the Client is not included in this Report.

Workplace Safety

13. The Client warrants to the Inspector (including the Inspector's, agents, employees and other personnel) that the Building Site is, to the Client's reasonable knowledge, safe and free of hazardous materials and that no party of the Building site constitutes a dangerous environment or work place safety concern.

Acceptance Criteria

14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the

14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the Special Conditions or Instructions. The similar building which the Inspector may compare the current building to was, to the best of the Inspector's knowledge, constructed in accordance with ordinary building construction and maintenance practices at the time of construction and as such has not encountered significant loss or of strength or serviceability.

15. The Inspector assumes in their Report that the existing use of the building or site will continue unless specified otherwise in the Special Conditions or Instructions.

Acknowledgments

16. The Client Acknowledges that contents of the Report is subject to the Scope of the Report, Inspection Limitations, Exclusions and Acceptance Criteria. This Report does not include recommendations or advice about matters outside the scope of the requested inspection.

17. Should the Client have any queries or concerns about the purposes, scope or acceptance criteria on which this Report was prepared, all enquiries or concerns are to be discussed with the Inspector within a reasonable time upon receipt of this report.

18. The Client acknowledges that they will take all reasonable steps to implement any recommendation or advice provided by the Inspector in their Report as a matter of urgency specified otherwise.

19. Any further discussions the Inspector following the production of this Report addressing concerns will not be reflected in this Report and as such the Report may not contain all advice or information related to the building or site provided by the Inspector.

20. The Client acknowledges that a visual only inspection restricts the Inspectors capacity to inspect the building or site thoroughly and is not recommended by the Inspector unless an inspection of the Readily Accessible Areas and appropriate tests are also carried out.

21. The Client Acknowledges that in accordance with the Australian Standard AS4349.0 2007 Inspection of Buildings, this Report does not warrant or give insurance that the building or site from developing issues following the date of inspection.

22. The Client acknowledges that the Inspector is not affiliated with Hello Inspections Pty Ltd ACN 620 518 238 ("Hello Inspections") nor is Hello Inspections liable for the content of the Report prepared by the Inspector or any other third party and the Client hereby indemnifies Hello Inspections from all claims, losses and damage arising, either directly or indirectly, from the Report and the Client accepts this document can be presented to a court as a complete bar to any proceedings by the client or its agents or related parties against Hello Inspections. The Client further acknowledges the Inspector is the agent for Hello Inspections solely for the purposes of this clause.

23. The Client acknowledges that Hello Inspections may reproduce the content within this Report for any commercial purpose, including sale of the Report in whole or in part to third parties, provided personal details or information of the Client contained therein are excluded.

----- TIMBER PEST INSPECTION REPORT -----

Service

1. This agreement is between the Timber Pest Detection Consultant ("the Inspector") and you ("Client"). You have requested the Inspector to carry out an inspection of your property for the purpose of preparing a Pre-Purchase Standard Timber Pest Report ("Report") to you outlining their findings and recommendations from the inspection.

2. The purpose of the inspection is to provide the Client with an overview of the Inspector's findings at the time of inspection which includes whether the inspector has identified any Timber Pest issues and advice as to the nature and extent of those findings.

3. This Report has been prepared at the direction of and exclusively for the Client. Details contained within this Report are tailored to the Pre-Inspection Agreement between the Inspector and the Client at the time of the Inspection and no other party can rely on the Report nor is the Report intended for any other party.

Scope of this Report

other party can rely on the Report nor is the Report intended for any other party. Scope of this Report 4. This Report is limited to the findings of the Inspector at the time of the inspection and any condition of the property which is not within the scope as set out herein or which occurs after the inspection is expressly excluded from this Report. 5. This Report expressly addresses only the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible to the Inspector at the time of inspection. 6. This Report is limited to the observations and conclusions of the Inspector that were readily observable at the building or site and given the state of property at the time of the Inspection. Inspection Limitations 7. The Inspection is limited to Readily Accessible Areas of the Building & Site based on the Inspector's visual examination of surface work (excluding furniture and stored items) and the carrying out of Tests. 8. Where the Inspection is carried out on a strata or company title property, the Inspection is limited to the interior and the immediate exterior of the residence inspected. The Inspection does not extend to common property areas and the Inspector will not inspect common property areas. 9. The Inspection is not in respect of a particular type of timber pest. Any analysis of a specific timber pest is to be at the request of the Client in which the Inspector would present their findings in a Special-Purpose Inspection Report separate from this Report. 10. The Inspector's findings do not extend to matters where the Inspector was restricted or prevented from assessing the building or site as a result of: (a) possible concealment of timber pest attack, including but not limited to, timber pest attack concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; (b) undetectable or latent timber pest attack, including but not limited to, timber pest attack that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out; (c) areas of the building or site that were obstructed at the time of the inspection or not Readily Accessible Areas of the Building Site. An obstructions may include a condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth; Exclusions 11. This Report does not consider or deal with the following: (a) any information or advice related to timber pest preventative, treatment, rectification, or maintenance options for an attack by Timber Pests; and (b) an environmental risk assessment or biological risk associated with Timber Pests (e.g. toxic mould), occupational health and safety issues. 12. Should the Client seek information from the Inspector related to one of exclusions above, that information is to be provided by way of a Special-Purpose Inspection Report or management proposal which is adequately specified and must be undertaken by an appropriately qualified inspector. Additional information requested by the Client is not included in this Report. Workplace Safety 13. The Client warrants to the Inspector (including the Inspector's, agents, employees and other personnel) that the Building Site is, to the Client's reasonable knowledge, safe and free of hazardous materials and that no party of the Building site constitutes a dangerous environment or work place safety concern. Acceptance Criteria

Acceptance Criteria 14. The Inspector may compare the building being inspected with a similar building, unless specified otherwise in the Special Conditions or Instructions. The similar building which the Inspector may compare the current building to was, to the best of the Inspectors knowledge, constructed in accordance with ordinary timber pest management and maintenance practices that ensure it does not attract or support a timber pest infestation during its life. 15. The Inspector assumes in their Report that the existing use of the building or site will continue unless specified otherwise in the Special Conditions or Instructions. 16. The Inspector does not guarantee or warrant the absence of Timber Pests in their Report. The Client acknowledges that certain species may be more difficult to identify than others or require regular inspection or testing to help monitor infestation of the species or susceptibility of the timber, including but not limited to the following species: (a) Drywood termites. This species has extremely small colonies and is difficult to detect; and (b) European House Borer (*Hylotrupes bajulus*). It is difficult to detect an attack or infestation of this species as the galleries of boring larvae rarely break through the affected timber surface. Acknowledgements 17. The Client acknowledges that the contents of the Report is subject to the Scope of the Report, Inspection Limitations, Exclusions and Acceptance Criteria. This Report does not include recommendations or advice about matters outside the scope of the requested inspection. 18. The Client acknowledges that this Report does not assess the structural integrity of the building or site. 19. Should the Client have any queries or concerns about the purposes, scope or acceptance criteria on which this Report was prepared, all enquiries or concerns are to be discussed with the Inspector within a reasonable time upon receipt of this report. 20. The Client acknowledges that they will take all reasonable steps to implement any recommendation or advice provided by the Inspector in their Report as a matter of urgency unless specified otherwise. 21. Any further discussions the Inspector following the production of this Report addressing concerns will not be reflected in this Report and as such the Report may not contain all advice or information related to the building or site provided by the Inspector. 22. The Client acknowledges that the Inspector is not affiliated with Hello Inspections Pty Ltd ACN 620 518 238 ("Hello Inspections") nor is Hello Inspections liable for the content of the Report prepared by the Inspector or any other third party and the Client hereby indemnifies Hello Inspections from all claims, losses and damage arising, either directly or indirectly, from the Report and the Client accepts this document can be presented to a court as a complete bar to any proceedings by the client or its agents or related parties against Hello Inspections. The Client further acknowledges the Inspector is the agent for Hello Inspections solely for the purposes of this clause. 23. The Client acknowledges that Hello Inspections may reproduce the content within this Report for any commercial purpose, including sale of the Report in whole or in part to third parties, provided personal details or information of the Client contained therein are excluded.

BUILDING AND PEST INSPECTION

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